

### **CITY OF ST. PETERSBURG, FLORIDA** PLANNING AND DEVELOPMENT SERVICES DEPARTMENT URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

## STAFF REPORT

### Community Planning and Preservation Commission Certificate of Appropriateness Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action scheduled for **Tuesday, July 12, 2022, beginning at 2:00 p.m.**, in Council Chambers of City Hall, 175 Fifth St. N., St. Petersburg, Florida. Everyone is encouraged to view the meetings on TV or online at <u>https://www.stpete.org/connect\_with\_us/stpete\_tv.php</u>.

According to Planning & Development Services Department records, no member of the Community Planning and Preservation Commission has a direct or indirect ownership interest in real property located within 2,000 linear feet of real property contained with the application (measured in a straight line between the nearest points on the property lines). All other possible conflicts should be declared upon the announcement of the item.



Case No.:	22-90200052
Address:	3328 7 <sup>th</sup> Ave N
Legal Description:	KENWOOD SUB ADD BLK 21, LOT 4
Parcel ID No.:	14-31-16-46350-021-0040
Date of Construction:	1979-1980
Local Landmark:	Kenwood Section – Northwest Kenwood Local Historic District (18-90300008)
	[Non-Contributing Property]
Owner:	Kim, Dae-Kun
	Kim, Lan

Request: Review of a Certificate of Appropriateness for an addition to 3328 7<sup>th</sup> Ave N, a noncontributing building within a local historic district

### Historical Context and Significance

The property at 3328 7<sup>th</sup> Ave N ("the subject property") was constructed in 1979-1980, which is after the conclusion of the Kenwood Section – Northwest Kenwood Local Historic District's Period of Significance. As such it was listed as a non-contributing property during the district's designation. Nonetheless, it follows the general form of earlier post-War homes typical to the subject district, with a front-gabled roof form and integral front porch. An attached garage originally occupied a portion of the subject property's façade, but it has since been infilled and the driveway has been removed. This is visible at the right side of the photograph above.

As seen below, the subject property generally follows the front setback of the block face. Several properties in the direct vicinity, both contributing and non-contributing, feature front-gabled forms with fairly substantial massing running for much of the length of the property, in a way similar to the proposed addition to the subject property.



Figure 1: Aerial of vicinity. Subject property shown with dashed box; western boundary of subject district shown in blue.



Figure 2: Alley to south of property, looking west, showing neighboring property's rear massing and setback. Subject property's rear setback marked with red plane.

### Project Description and Review

### **Project Description**

The proposal would create a rear addition with total dimensions of approximately 37 feet, 7 inches long by 30 feet wide. The appended space would include a new two-car alley-facing garage, utility room, bathroom, and covered patio. A screened porch currently at the subject property's rear elevation would be removed to accommodate the new addition.

The proposed addition is largely designed as an extension of the existing building form, featuring the following elements:

- A continuation of the existing gable form toward the rear (south) of the property,
- Concrete masonry unit construction,
- Asphalt shingle roofing, and
- Vinyl sash windows with concrete sills

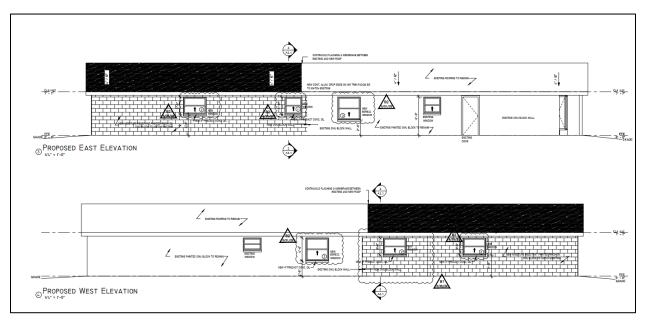


Figure 3: Proposed side (east and west) elevations

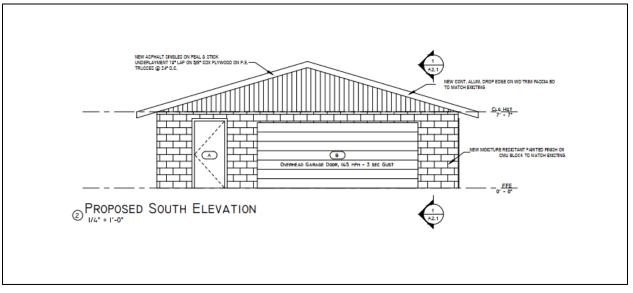


Figure 4: Proposed rear (south) elevation

General Criteria for Granting Certificates of Appropriateness

- 1. The effect of the proposed work on the landmark or the property upon which such work is to be done.
  - **Consistent** As the subject property is listed as a noncontributing property within the subject district, the primary concern of this review is to prevent negative impacts to the historic integrity of contributing properties and the district as a whole. In the case of additions to noncontributing properties, this is often accomplished by discouraging additions with out-of-context massing or scale, which would overshadow contributing properties in the vicinity.

The proposal largely mirrors the scale of an addition to an adjacent contributing property, albeit a large and non-historic addition. Nonetheless, the construction of the proposed addition would not create a visual burden within the district. The fact that the subject property is at the western edge of the subject district, adjacent to the beginning of a commercial zone, further lessens the potential impact of the proposal.

The property owner has added a recessed porch to the west elevation at the "seam" between the original home and the addition to create a visual break, evidence of the addition to the future viewer, and break down the massing of the building following input from City historic preservation staff.

- 2. The relationship between such work and other structures on the landmark site or other property in the historic district.
  - **Consistent** As noted, the visibility of this alteration from other properties and public spaces in the subject district is quite low. The proposal would have no visible impact to the front of the subject property.
- 3. The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.
  - **Consistent** As noted above, the proposed addition would not affect the property's façade. Given its placement it would be minimally visible from elsewhere in the subject district.
- 4. Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.

# Information not provided

5. Whether the plans may be reasonably carried out by the applicant.

**Consistent** No indication that the plans cannot reasonably be carried out has been noted by staff.

- 6. A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.
  - **Consistent** The property is noncontributing and sits at the western boundary of the subject district. As shown in images above, several nearby properties (both contributing and noncontributing) have been altered through either rear additions, or through infill connecting what would have historically been garages detached from primary residences.

The applicant has added a porch to the west side of the proposed addition to decrease the overall bulk of the building and reference the articulation

between residence and garage space that is typical to contributing properties in the subject district.

Additional Guidelines for New Construction

In approving or denying applications for a COA for new construction (which includes additions to an existing structure), the Commission and the POD shall also use the following additional guidelines.

1. The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.

**Consistent** The proposed addition will be placed behind the existing residence and with a consistent gable peak to that of the existing roof form.

2. The relationship of the width of the new construction to the height of the front elevation shall be visually compatible with contributing resources in the district.

**Consistent** The new addition is located on the rear and will not be visible from the front elevation.

3. The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.

4. The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.

NotThe proposal does not include any changes to the façade of the building.applicable

- 5. The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.
  - **Consistent** The proposed addition will be located on the rear of the property. As noted above, a number of properties in the subject district have been modified over time to create long stretches of enclosed space running nearly the entire length of their parcels. The proposal will be visually compatible with other contributing resources in the proposed district, particularly given the revision to add a recessed porch to provide some articulation between original building and addition.
- 6. The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.

Not applicable

**Consistent** Several windows at the existing residence have been replaced already, making complete consistency a challenge. The new windows will reference the existing windows in configuration and size.

7. The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.

**Consistent** The proposed addition will feature materials to match the existing house.

8. The roof shape of the new construction shall be visually compatible with contributing resources in the district.

**Consistent** The proposed roof will add to the rear-facing gable.

9. Appurtenances of the new construction such as walls, gates and fences, vegetation and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.

### Consistent

10. The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.

### Consistent

11. The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.

### Consistent

12. New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.

### Consistent

- 13. New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.
  - **Consistent** The proposed addition could be removed without altering the essential form and integrity of the resource.

Summary of Findings, Certificate of Appropriateness Review

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- General Criteria for Granting Certificates of Appropriateness: 5 of 5 relevant criteria satisfied.
- Addition Guidelines for New Construction: 11 of 11 relevant criteria met.

### Staff Recommendation

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve with conditions** the Certificate of Appropriateness request for the addition to the property at 3328 7<sup>th</sup> Ave N, a noncontributing property to the Northwest Kenwood Local Historic District, subject to the following:

- 1. A historic preservation final inspection will be required.
- 2. All other necessary permits shall be obtained. Any additional work shall be presented to staff for determination of the necessity of additional COA approval.
- 3. This approval will be valid for 24 months from the date of this hearing, with an expiration date of July 12, 2024.

# Appendix A:

Application No. 22-90200052



Signature of Owner:

# **CERTIFICATE OF APPROPRIATENESS**

### APPI ICAT

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's anning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Ρ Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura.Duvekot@stpete.org

332	8 7th Ave N. St. Pete	rsburg, FL 33713		14-3	1-16-46350-021-0040
1	erty Address (enwood			Identification No. 02000851	
1	oric District / Landmark Na -Kun Kim	ime			ponding Permit Nos. 15-5579
Owner's Name 3328 7th Ave N. St. Petersburg, FL 33713				•	ty Owner's Daytime Phone No. Inkim1@gmail.com
1	Owner's Address, City, State, Zip Code Ronald Marshall				's Email 22-7280
Authorized Representative (Name & Title), if applicable 5508 N. 50th St. Tampa, FI 33610				•	sentative's Daytime Phone No. rambuildinc.com
Rep	resentative's Address, City	y, State, Zip Code		Repre	sentative's Email
	APPLICATION TYPE (Check applicable)			OF W	ORK (Check applicable)
	✓ Addition Window Replacement			Only	
4	New Construction     Door Replacement			Replace	ment
	Demolition Roof Replacement			New Installation	
	Relocation	Mechanical (e.g. solar)	Other:		
	Other:				

### **AUTHORIZATION**

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other equired City permit approvals. Filing an application does not guarantee approval.

NOTES: 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.

2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Date: 5/2/22 Ronald Marshall Bignature of Representative: Date:



# CERTIFICATE OF APPROPRIATENESS

### APPLICATION

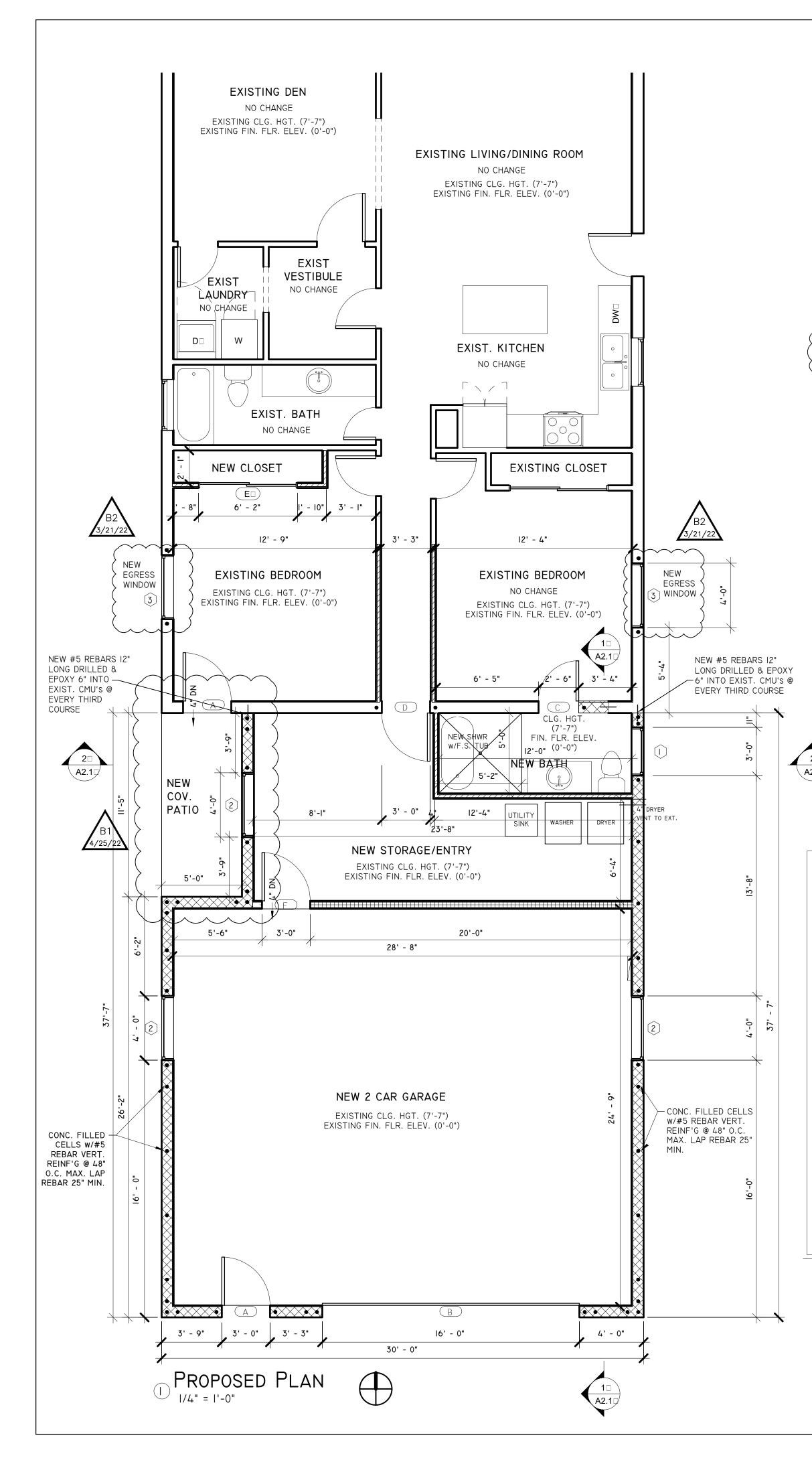
### COA #

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department by emailing directly to Historic Preservationists Laura Duvekot (Laura.Duvekot@stpete.org) or Kelly Perkins (Kelly.Perkins@stpete.org).

### PROPOSED SCOPE OF WORK

Please provide a detailed description of the proposed work, organized according to the COA Matrix. Include information such as materials, location, square footage, etc. as applicable. Attach supplementary material as needed.

Building or Site Feature	Photo No.	Proposed Work
Single Family Residence		Construct New 2 Car Garage Addition With Laundry Room & New Bathroom In The Rear Of The Property
	1	



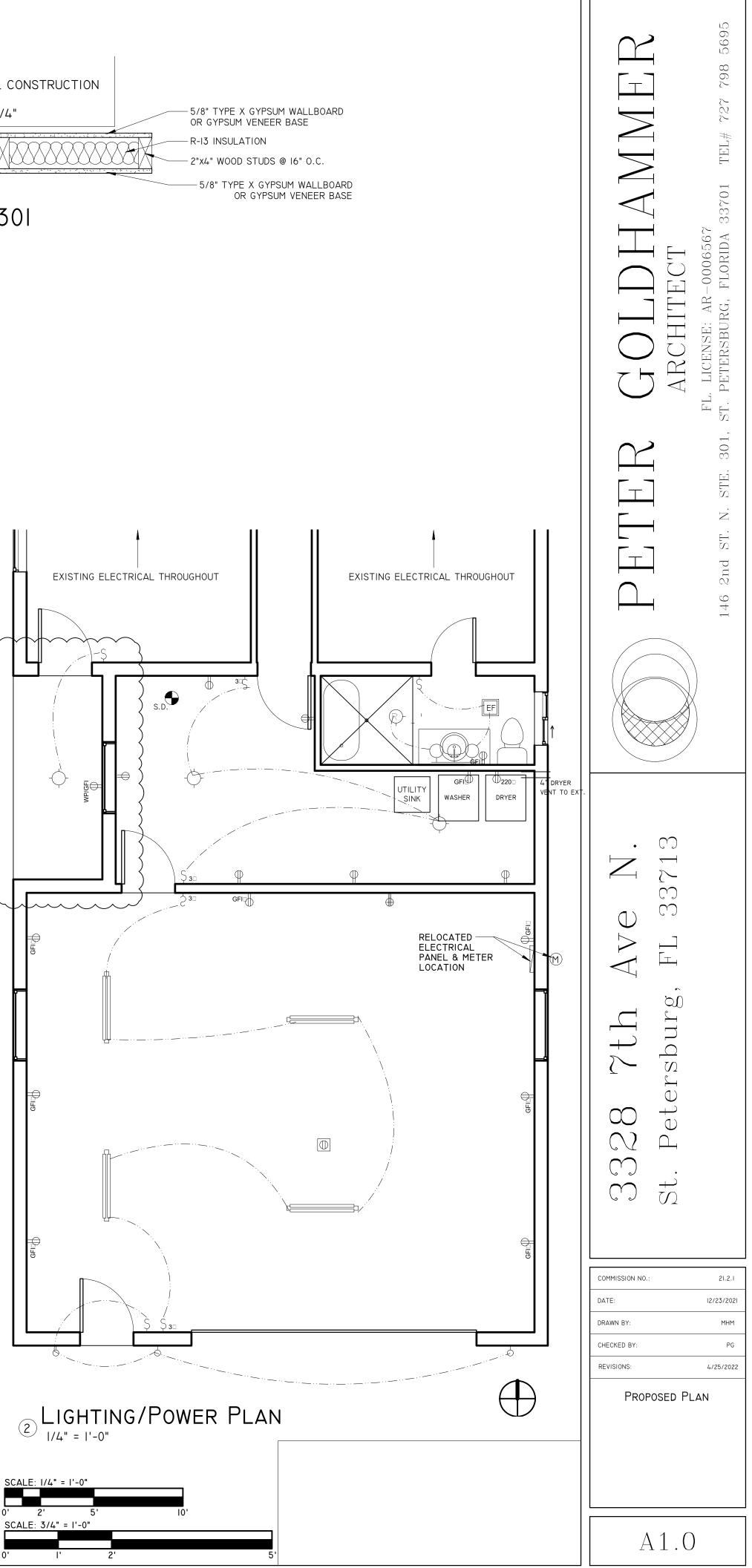
	Dool	R SCHEDULE				
Mark Width He	IGHT MANUFACTURER DE	SCRIPTION	Comments	FL N.O.A.	UL DESIGN U305 I HR. FIRE RATED WALL	CONS
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B 16' - 0" 6' - C 2' - 6" 6' -			MATCH EXISTING HARDWARE MATCH EXISTING HARDWARE	-		<b>4</b>
D 3'-0" 6'-	- 8" - INTERIOR WD. FRAME, 20	MIN FR SOLID CORE DOOR	MATCH EXISTING HARDWARE	-		
E 6' - 0" 6' - F 3' - 0" 6' -		ANEL SILDING CLOSET DOORS	MATCH EXISTING HARDWARE MATCH EXISTING HARDWARE	-		
NOTES						
_ALL EXTERIOR DOOF MATERIALS	OOR MANUFACTURERS TO BE EQUAL OR BET RS SHALL HAVE A THRESHOLD WITH A HEIGH WITH A CHANGE IN FLOOR MATERIALS SHA	OF NO GREATER THAN 4"	DIFFERENCE BETWEEN INT.	& EXT. FINISH	(4) UL DESIGN U3	501
	ANY DOORS WITHOUT PROVIDING SHOP DRAY RIFY ALL DOOR ROUGH OPENINGS W/ DOOR		DIMENSION VERIFICATION.			
	Window Sche					
MARK WIDTH HEI	GHT LINTEL MATERIAL MANUFACTU	<b>~</b>	FL NOA	<b>`</b>		
I         3' - 0"         3' -           2         4' - 0"         3' -		WINDOW-DOUBLE-HUNG WINDOW-DOUBLE-HUNG	#14705.2 #14705.2			
		WINDOW-DOUBLE-HUNG	#14705.2			
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WAI	LL LEGEND				ATE SHALL BE REINF' w/ #5 ND GROUT FILLED	
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	NEW 8" CMU WALL W/ #5 REBAR REINF' VERT. MATCH EXISTING ADJACENT WALL FINISH (MOISTURE				MASONRY BLOCK (TYP.)	
	RESISTANT PAINT					
	NEW 2X4 WD STUD NON-BEARING WALL @ 16" O.C. W/ 1/2" GYP WALL BOARD EACH SIDE			<u> </u>		
	NEW I HR. FIRE RATED 2X6 WD STUD		6"		EXISTING 8"	
	NON-BEARING WALL @ 16" O.C. W/ 5/8" TYPE X GYP WALL BOARD EACH SIDE		EXST. — <b>— —</b> NEW	MASONRY	( BLOCK (TYP.)	
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Φ			LL OUTLETS WITHIN 7	2" OF PLUMBI	NG GFCI	

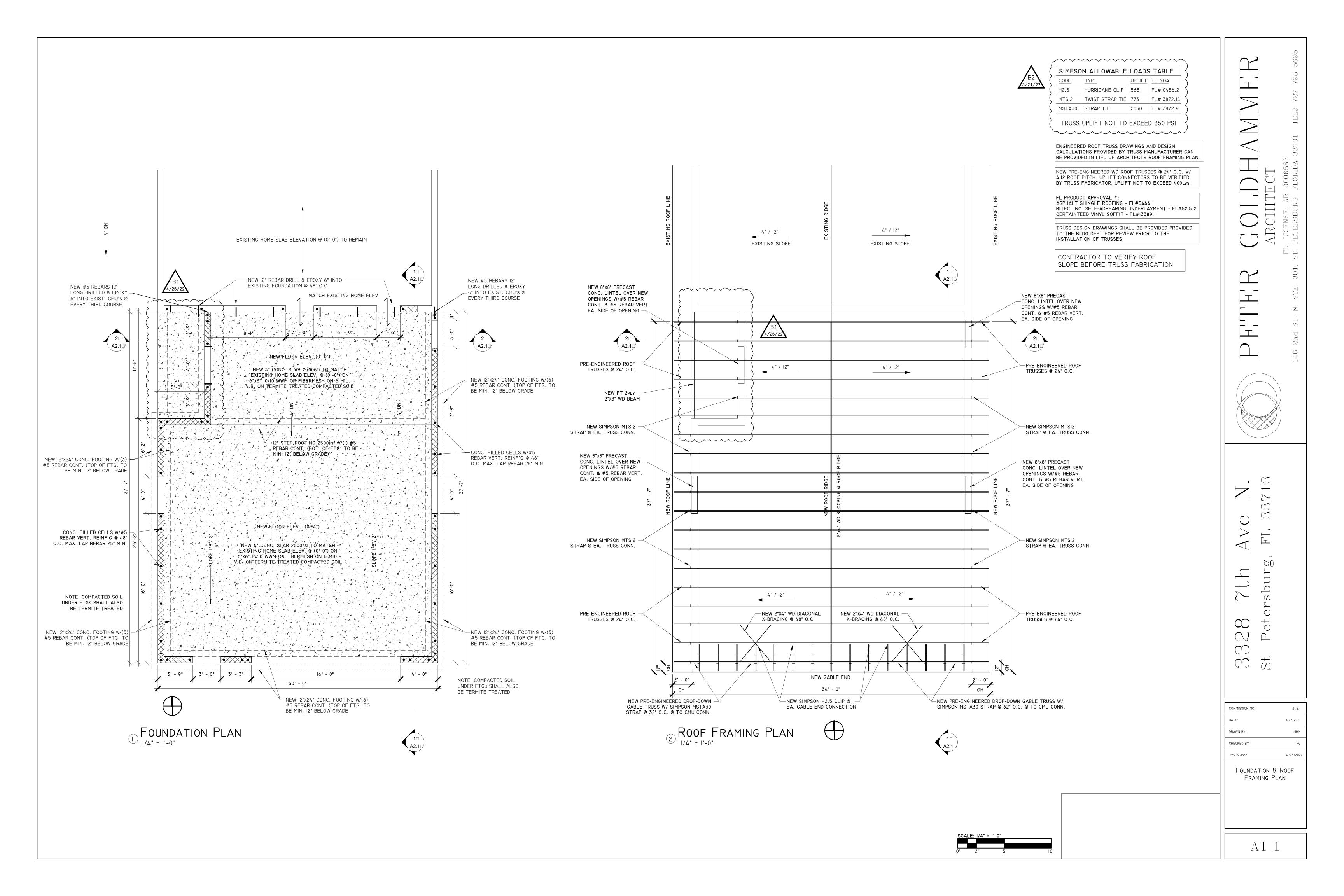
HVAC UNIT & MECHANICAL SYSTEM TO BE INSTALLED BY MECHANICAL CONTRACTOR AS PER MANF' SPECS. PLUMBING TO BE SCH. 40 PVC & INSTALLED BY PLUMBING CONTRACTOR AS PER 2020 FBC.

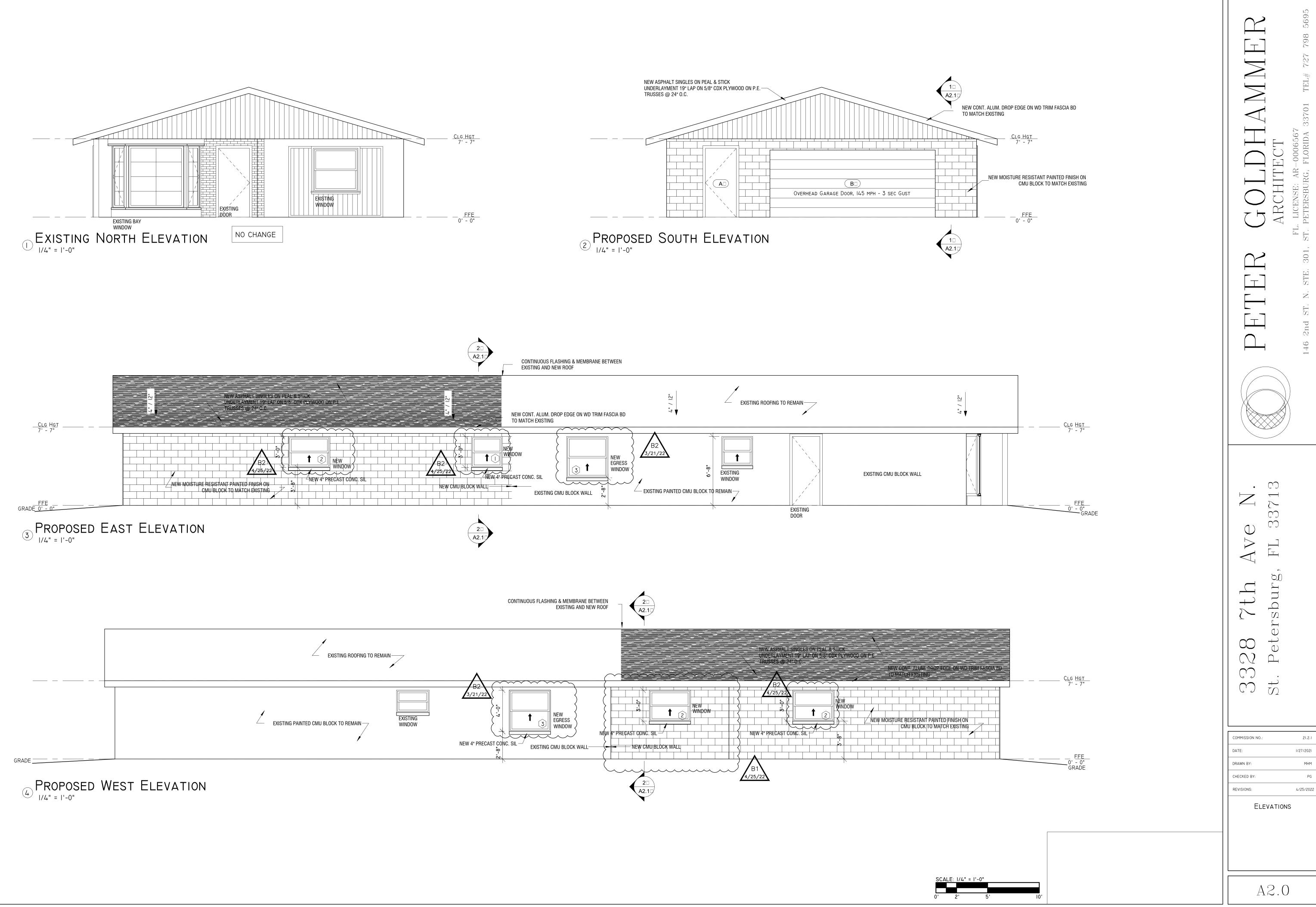
OUTLET

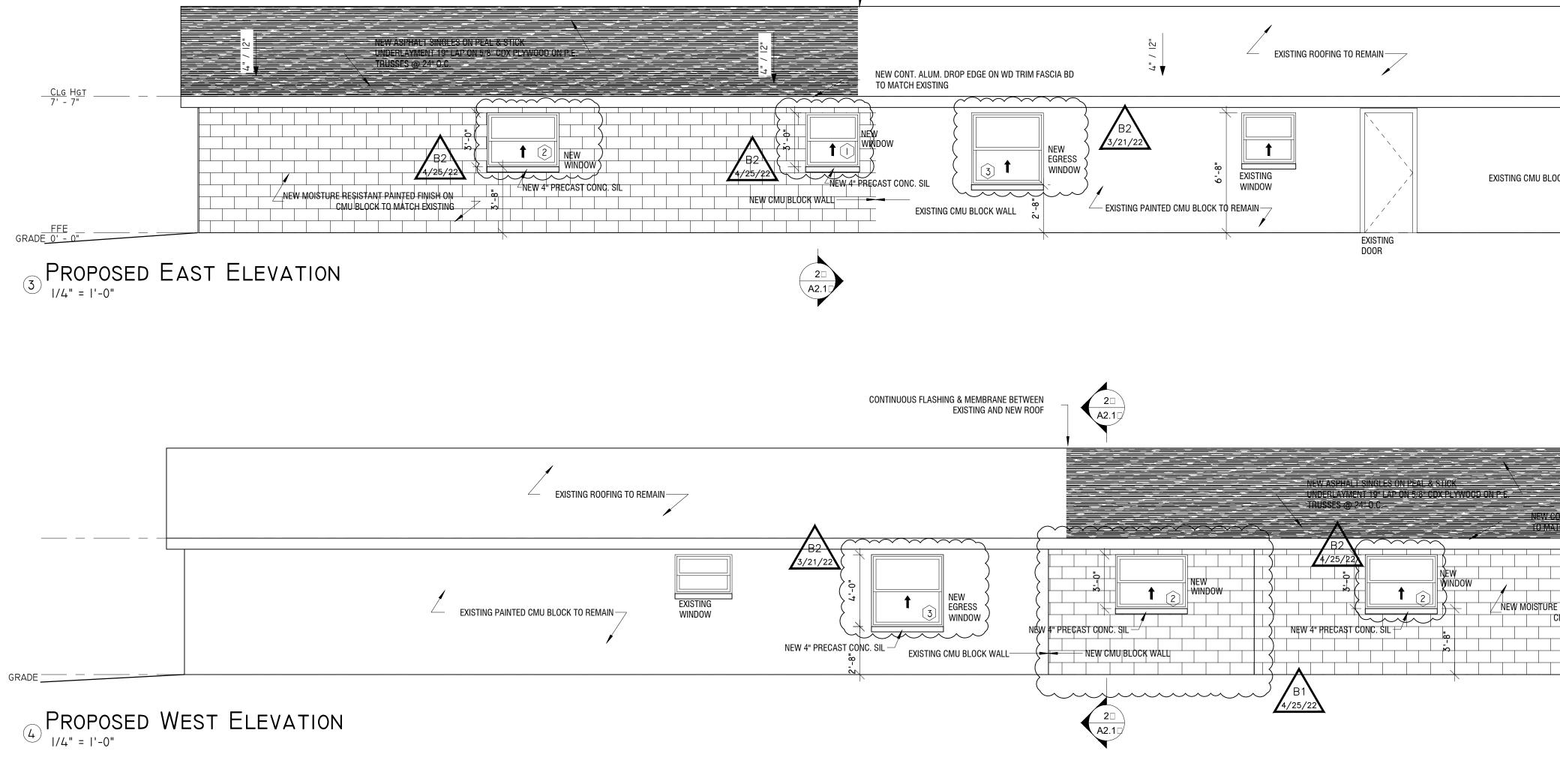
NEW ELECTRICAL TO BE INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR PER 2017 NATIONAL ELECTRIC CODE

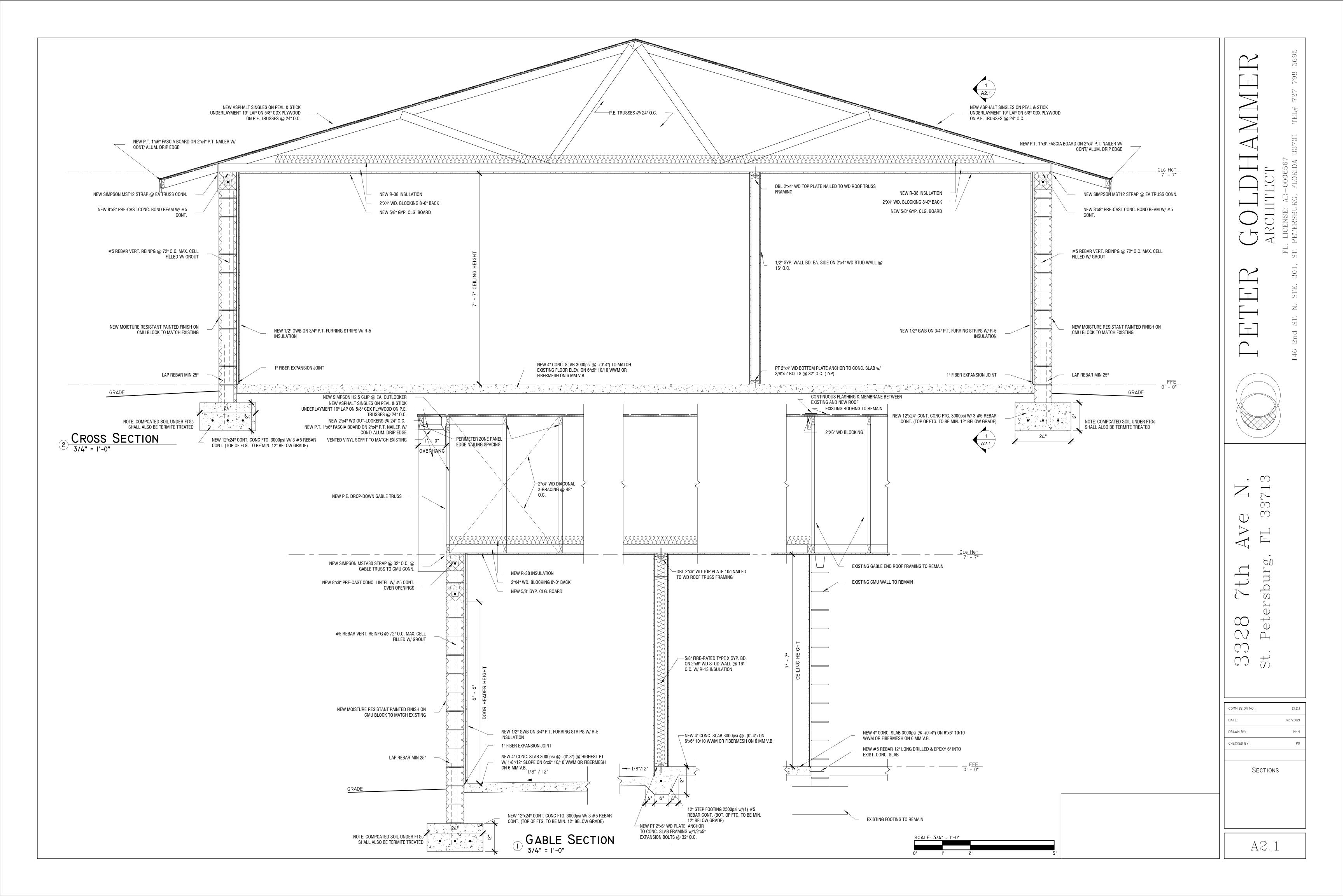
ALL EXTERIOR OUTLETS WP/GFCI













6250 NORTH MILITARY TRAIL, SUITE 102, WEST PALM BEACH, FL 33407 - (800) 226-4807 WWW.TARGETSURVEYING.NET

### LAND SURVEY PREPARED FOR DAE-KUN KIM AND LAN KIM 3328 7TH AVENUE NORTH, SAINT PETERSBURG, FL 33713





**REQUESTED BY:** 

STAR TITLE PARTNERS OF PALM HARBOR, LLC 30522 US HIGHWAY 19 N SUITE 102 PALM HARBOR, FL 34684 PH. 727-216-8185

### LEGAL DESCRIPTION AND CERTIFICATION

Lot 4, Block 21, ADDITION TO KENWOOD SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 6, Page 92, of the Public Records of PINELLAS County, Florida.

Community Number: 125148 Panel: 0218 Suffix: G Flood Zone: X Field Work: 8/7/2018

Certified To:

DAE-KUN KIM AND LAN KIM; STAR TITLE PARTNERS OF PALM HARBOR, LLC; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; FREEDOM MORTGAGE CORPORATION, its successors and/or assigns.

Property Address: 3328 7TH AVENUE NORTH SAINT PETERSBURG, FL 33713

Survey Number: 337640

Client File Number: PH18496

### ABBREVIATION DESCRIPTION:

A.E A/C B.M B.R (C) D.E D.H D.M E.C	ANCHOR EASEMENT AIR CONDITIONER BENCH MARK BEARING REFERENCE CALCULATED CENTRAL / DELTA ANGLE CHORD DEED / DESCRIPTION DRAINAGE EASEMENT DRILL HOLE DRIVEWAY W. EDGE OF WATER	F.F. EL. FINISH FLOOR ELEVATION F.I.P. FOUND IRON PIPE F.I.R. FOUND IRON ROD F.P.K. FOUND PARKER-KALON NAIL (L) LENGTH L.A.E. LIMITED ACCESS EASEMENT L.M.E. LAKE MAINTENANCE EASEMENT (M) MEASURED / FIELD VERIFIED M.H. MANHOLE N&D NAIL & DISK N.R. NOT RADIAL N.T.S. NOT TO SCALE O HI. OVEPPIEGD LITH ITY LINES	O.R.B. OFFICIAL RECORDS BOOK (P) PLAT P.B. PLAT BOOK P.C. POINT OF CURVATURE P.C.C. POINT OF COMPOUND CURVE P.O.B. POINT OF BEGINNING P.O.C. POINT OF REVERSE CURVE P.T. POINT OF COMMENCEMENT P.R.C. POINT OF TANGENCY RW RIGHT-OF-WAY (R) RADIAL / RADIUS S.I.R. SET IRON ROD T.O.B. TOP OF BANK	SYMBOL DESCRIPTIONS:
F.C.		N.T.S. NOT TO SCALE O.H.L. OVERHEAD UTILITY LINES		

PAGE 1 OF 2 PAGES (NOT COMPLETE WITHOUT PAGE

**GENERAL NOTES:** 

- 1) 2)
- LEGAL DESCRIPTION PROVIDED BY OTHERS THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT. UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WEEPE NOT LOCATED 3)
- WERE NOT LOCATED. WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT
- 4)

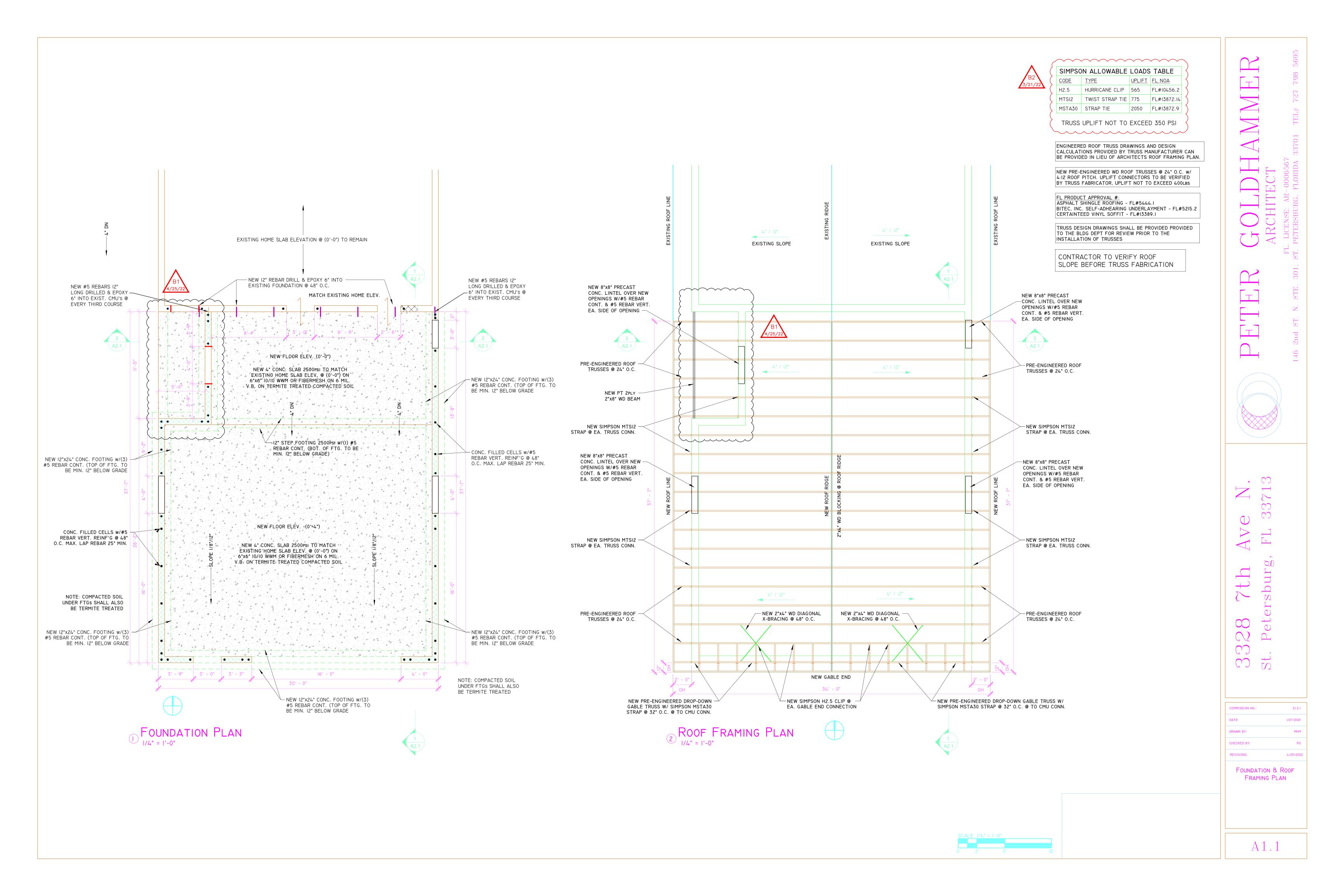
- WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES. ONLY VISIBLE ENCROACHMENTS LOCATED. DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN. FENCE OWNERSHIP NOT DETERMINED. ELEVATIONS INDICATED HEREON ARE IN FEET AND DECIMALS REFRENCED TO N.G.V.D. 1929 IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS ANDOR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS. 5)6789

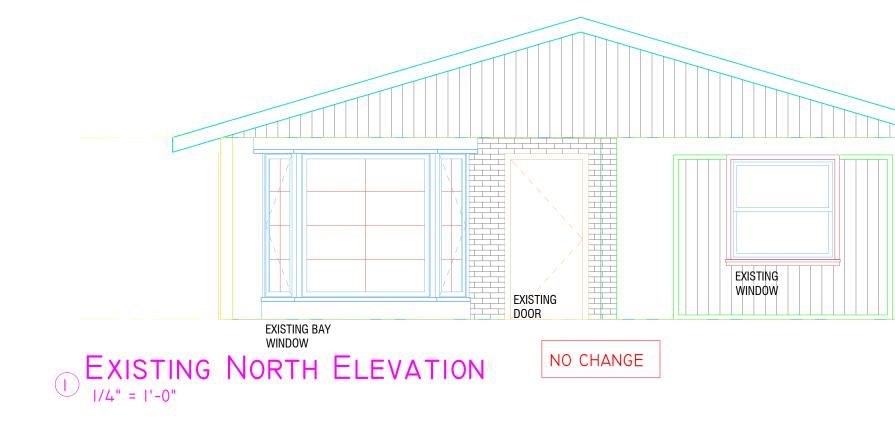


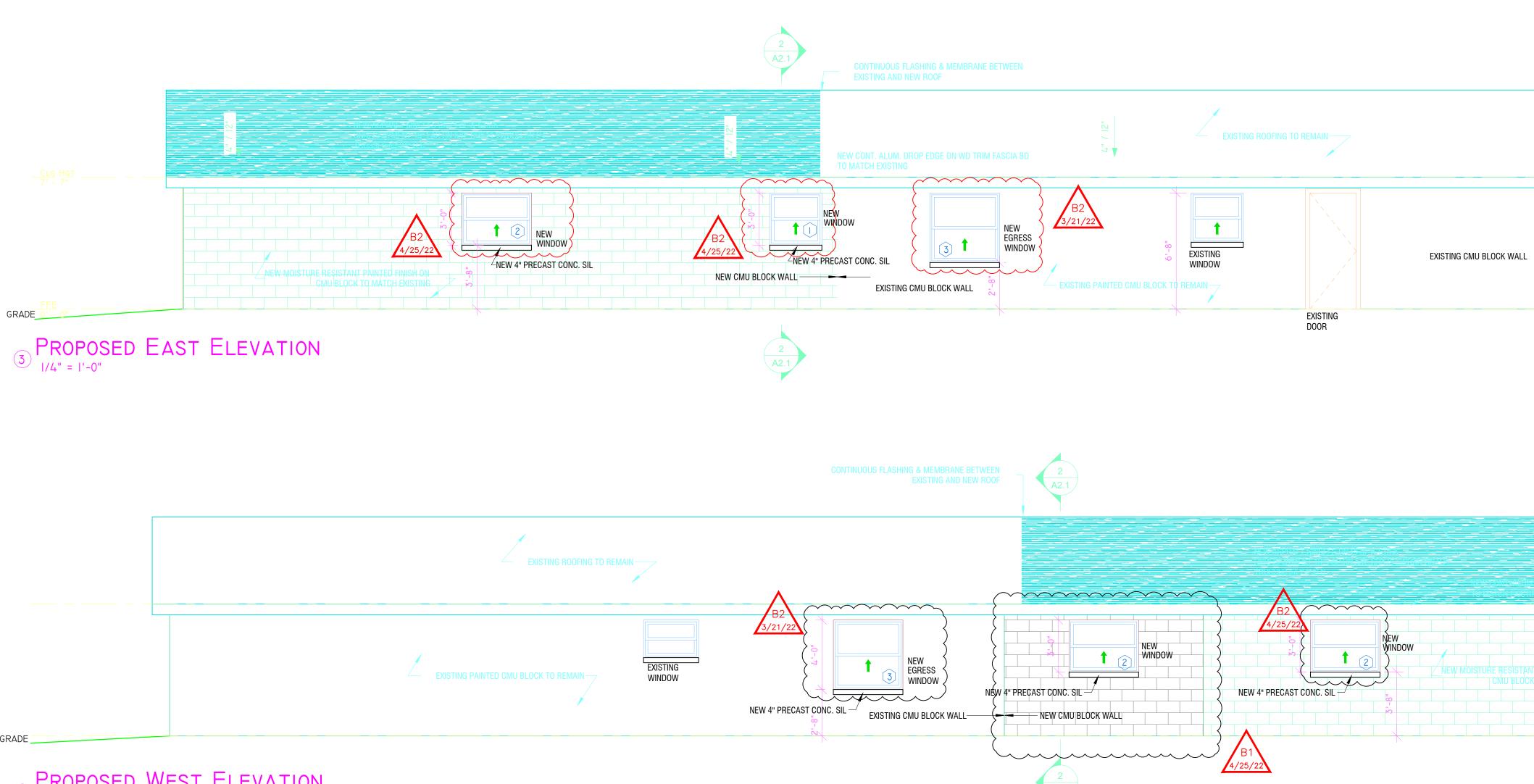
LB #7893

SERVING FLORIDA 6250 N. MILITARY TRAIL, SUITE 102 WEST PALM BEACH, FL 33407 PHONE (561) 640-4800 STATEWIDE PHONE (800) 226-4807 STATEWIDE FACSIMILE (800) 741-0576 WEBSITE: http://targetsurveying.net

RG







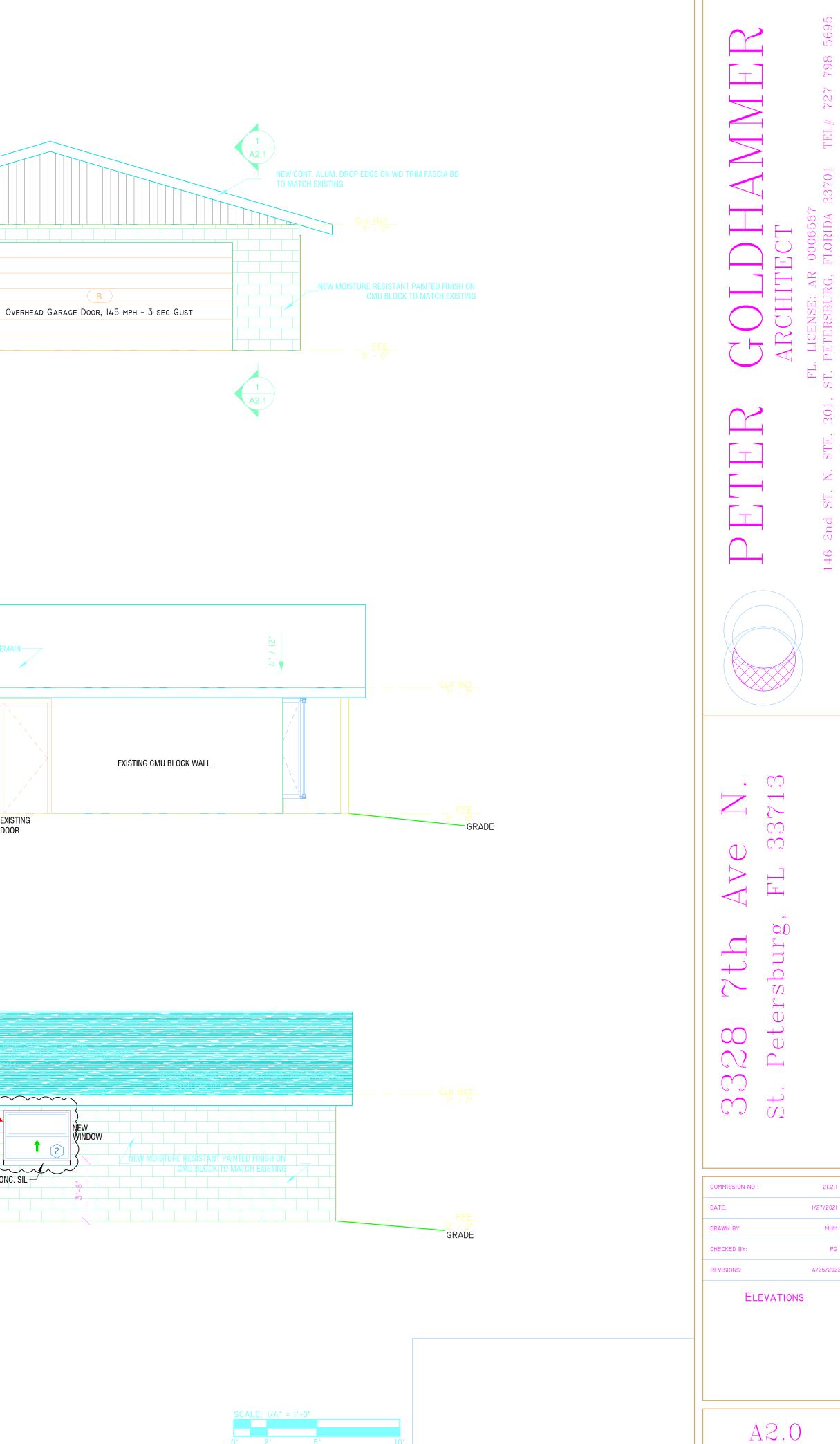
GRADE

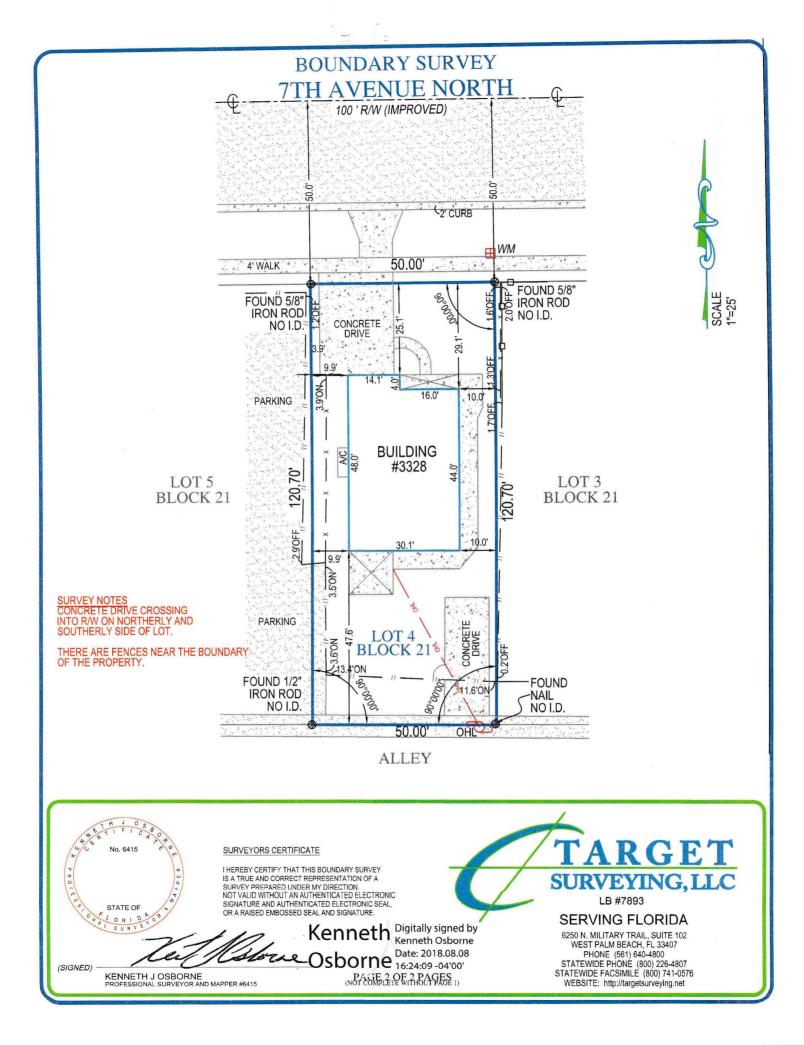
# (4) PROPOSED WEST ELEVATION





2 PROPOSED SOUTH ELEVATION





# GENERAL REQUIREMENTS

I - IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARKS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING: THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR TIE=DOWNS WHICH MAY BE NECESSARY.

2 - COORDINATE ALL DIMENSIONS AND ELEVATION WITH THE ARCHITECTURAL DRAWINGS.

3 - CONTACT THE ARCHITECT WITH ANY QUESTIONS OR DISCREPANCIES FOUND ON THE DRAWINGS.

IS TO PROCEED PRIOR TO REVIEW BY THE DESIGNER.

4 - SUBMIT SHOP DRAWINGS AS REQUIRED HEREIN. ALLOW FOR ONE WEEK REVIEW TIME AFTER RECEIPT BY THIS FIRM. NO FABRICATION

# DESIGN CRITERIA

I - APPLICABLE BUILDING CODE: 2020 FLORIDA BUILDING CODE, 7TH EDITION

2 - DESIGN LIVE LOADS ROOF BEDROOM

30 PSF 30 PSF 40 PSF

FLOOR AREA AND BATHROOM 3 - DESIGN WIND VELOCITY = 145 MPH

4 - ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE, 7тн EDITION.

CAST-IN-PLACE CONCRETE

I. CONCRETE TO BE NORMAL WEIGHT WITH THE FOLLOWING COMPRESSIVE STRENGTHS AT TWENTY-EIGHT (28) DAYS:	MINIMUM
A) FOOTINGS, SLAB-ON-GRADE, SLAP FILL	3000psi
В) MASONRY WALL TIE BEAMS, TIE COLUMNS	3000psi
c) FREE-STANDINGS COLUMNS	4000PSI
D) FREE-SPANNING BEAMS	4000PSI
2. CONCRETE SHALL BE READY-MIX PER ASTM C94 AS FOLI	_OWS:

	A) PORTLAND CEMENT	ASTM CI50
	в) AGGREGATES	ASTM C33 (3/4" MAX.)
	c) NO CALCIUM CHLORIDE	
	D) AIR ENTRAINING	ASTM C260
	E) WATER REDUCING	ASTM C494
	F) FLYASH	ASTM C618-78 CLASS F (***%
MAX.)		

3. REINFORCING STEEL: ASTM A615 GRADE 404. REQUIRED SLUMP RANGE AT DISCHARGE END OF TRUCK EQUALS (=)

THREE (3") TO FIVE (5") INCHES.

5. WELDED WIRE FABRIC: ASTM A185

6. CODES AND STANDARDS:
A) ACI 301 - "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR
B) ACI 305 - "RECOMMENDED PRACTICE FOR HOT WEATHER
CONCRETING."
c) ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED
CONCRETE."
D) ACI 315 - "DETAILS AND DETAILING OF CONCRETE
REINFORCEMENT."

### MASONRY

I. HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT TYPE N2, WITH A MINIMUM COMPRESSIVE STRENGTH OF I500

2. MORTAR SHALL BE TYPE M OR S AND CONFORM TO ASTM C270. MORTAR SHALL BE USED WITHIN TWO (2) HOURS OF MIXING

3. COARSE GROUT SHALL CONFORM TO ASTM C467 WITH A MAXIMUM AGGREGATE SIZE OF THREE-EIGHTS (3/8" INCH AND A MINIMUM COMPRESSIVE STRENGTH OF 2500PSI.

4. VERTICAL BARS SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM AND AT 8'-0" O.C. MAXIMUM WITH A MINIMUM CLEARANCE OF ONE-QUARTER (I/4") INCH FROM MASONRY AND NOT LESS THAN ONE BAR DIAMETER BETWEEN BARS.

5. VERTICAL REINFORCING SHALL BE AS SHOWN ON THE DRAWINGS. FILL CELLS WITH COARSE GROUT AS SPECIFIED.

6. PLACE ALL MASONRY IN RUNNING BOND WITH THREE-EIGHTS (3/8") INCH MORTAR JOINTS.

ZERO-INCH) O.C. MAXIMUM.

OF TIMBER CONSTRUCTION REQUIREMENTS.

SIMPSON STRONGTIE CO OR EQUAL.

I. DIMENSION LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.

2. ALL LUMBER, UNLESS OTHERWISE NOTED, SHALL BE SOUTHERN PINE NUMBER

2 GRADE OR BEIT	ER:		
Fв	=	1,200psi	
Fv	=	90psi	
Fc	=	975ps1	
E	=	1,600,000PSI	
19% (NINE	TEEN %) MAX	XIMUM MOISTURE CONTENT	
PRESSURE TREAT A CCA SALT TREA	ED. PRESSURE ATMENT IN AC	TH MASONRY AND CONCRETE SHALL BE E TREATED LUMBER SHALL BE IMPREGNATED WI CCORDANCE WITH F.S. TT-W-57I AND BEAR THE NSTITUTE QUALITY MARK LP-2.	ТН
4. PLYWOOD SHEA SHEATHING TO BE		_ BE DFPA CD WITH EXTERIOR GLUE. ALL ROOF WITH PLYCLIPS.	
5. INSTALL BRIDG	ING IN ALL F	LOOR OR ROOF JOISTS AT 8'-0" (EIGHT-FEET-	

6. ALL NAILING AND BOLTING SHALL COMPLY WITH THE AMERICAN INSTITUTE

7. ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY

8. PROVIDE A SINGLE PLATE AT THE BOTTOM AND DOUBLE PLATE AT THE TOP OF ALL STUD WALLS.

9. STUDS SHALL BE DOUBLED AT ALL ANGLES AND AROUND ALL OPENINGS. STUDS SHALL BE TRIPLED AT ALL EXTERIOR CORNERS ONLY.

10. ALL OUTSIDE CORNERS SHALL BE BRACED WITH GALVANIZED SIMPSON STRONGTIE DIAGONAL BRACES OR 1/2" PLYWOOD PANELS 4'-0" MIN. E.W.

II. EXTERIOR WOOD LINTELS OVER OPENINGS SHALL BE DOUBLE 2"x6" (TWO-BY-SIX) HEADERS FOR SPANS UP TO 3'-0" (THREE-FEET-ZERO-INCH) AND DOUBLE 2"x8" (TWO-BY-EIGHT) HEADERS FOR 3'-0" TO 7'-0". SEE PLANS FOR SPANS GREATER THAN 7'-0". STRAP ALL HEADERS W/ LSTA I5'S.

I2. ALL NAILING OF PLYWOOD SHEATHING AT PERIMETER 4' OF ROOF AND 4' FROM EXTERIOR CORNERS OF WALLS TO BE 8D AND 4: O.C.

FRAMING NOTES:

ALL INTERIOR DIMENSIONS ARE GIVEN TO THE INDICATED FACE OF STUD UNLESS NOTED OTHERWISE

ALL EXTERIOR DIMENSIONS ARE GIVEN TO THE FACE OF THE STUD OR FACE OF BLOCK (AS APPROPRIATE) WHICH LINES WITH THE FOUNDATION BELOW

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED OR APPROVED CEDAR, OR HAVE 15 LB. FELT BARRIER.

NOTE: BRANCH CIRCUITS THAT SUPPLY 125V, 15 & 20 AMP OUTLETS IN DWELLING UNIT BEDROOMS TO HAVE AFCI PROTECTION.

THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING WORK.

THESE PLANS APPLY TO SECTION 1603 OF THE 2020 FLORIDA BUILDING CODE, 7TH ED.

### FASTENING SCHEDULE (2020 FBC, 7TH ED. TABLE 2306.3(3)

TYPE OF MATERIAL	THICKNESS OF MATERIAL	WALL CONSTRUCTION	STAPLE SPACING MAX. (INCHES) SEE B	S (F
3. GYPSUM SHEATHING	1/2" x 2' x8'	UNBLOCKED	4" O.C.	75
	1/2" x 4'	BLOCKED SEE D	4" O.C.	17
		UNBLOCKED	7" O.C.	10
4. GYPSUM BOARD, GYPSUM VENEER	1/2"	UNBLOCKED SEE D	7" O.C.	75
BASE, OR WATER-RESISTANT GYPSUM		UNBLOCKED SEE D	4" O.C.	110
BACKING BOARD		UNBLOCKED	7" O.C.	10
		UNBLOCKED	4" O.C.	12
		UNBLOCKED SEE E	7" O.C.	12
		UNBLOCKED SEE E	4" O.C.	15
	5/8"	UNBLOCKED SEE D	7" O.C.	115
			4" O.C.	14
		BLOCKED SEE E	7" O.C.	14
			4" O.C.	17
		BLOCKED SEE E TWO-PLY	BASE PLY: 9	25
			BASE PLY: 7	1

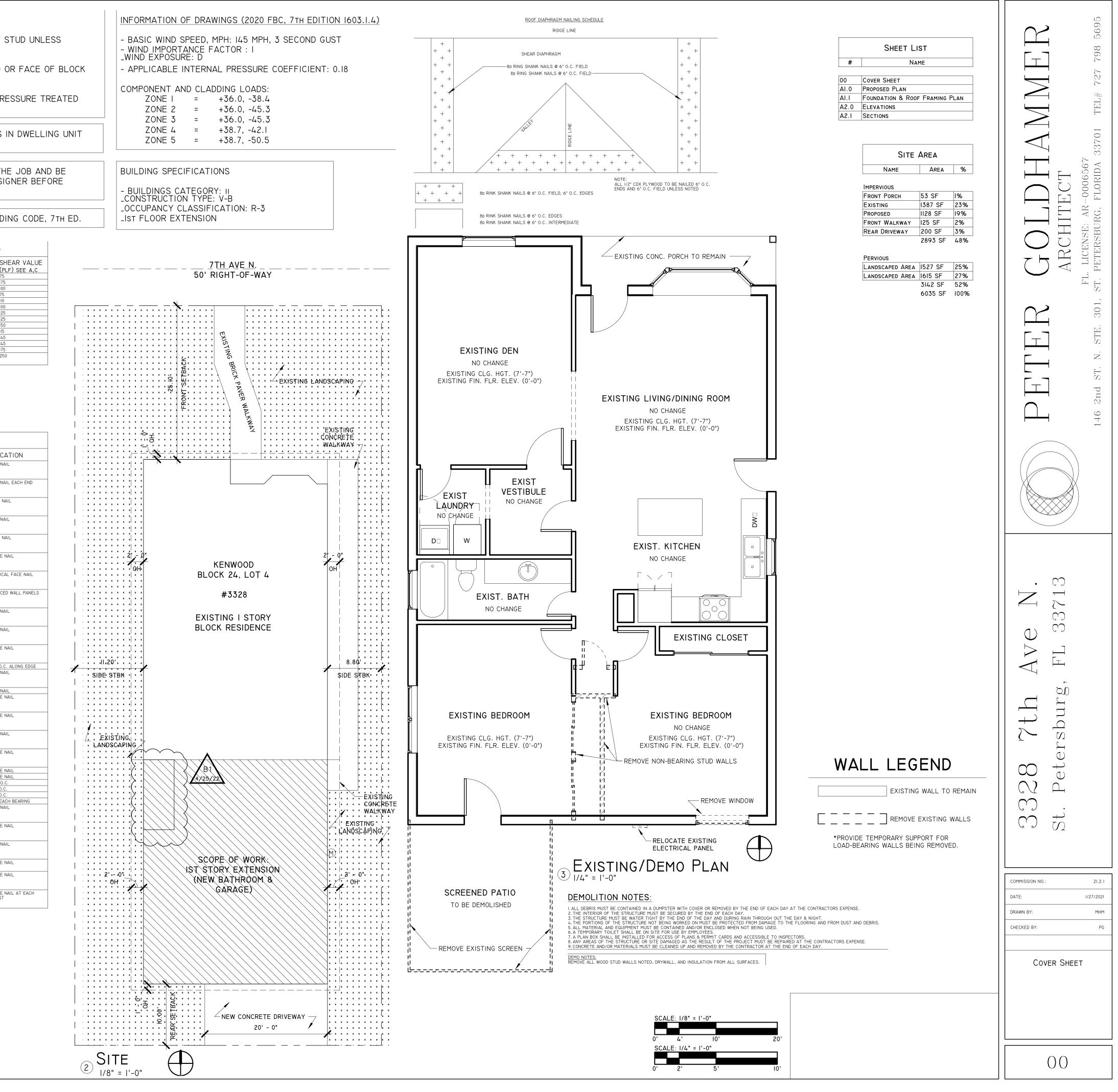
FOR SI: I INCH = 25.4 MM, I FOOT = 304.8 MM, I POUND PER FOOT = 14.5939 N/M. A. THESE SHEAR WALLS SHALL NOT BE USED TO RESIST LOADS IMPOSED BY MASONRY OR CONCRETE WALLS (SEE AF &PA SDPWS). VALUES SHOWN ARE FOR SHORT-TERM LOADING DUE TO WIND OR SEISMIC LOADING. WALLS RESISTING SEISMIC LOADS SHALL BE SUBJECT TO THE LIMITATIONS IN SECTION 12.2.1 OF ASCE 7. VALUES SHOWN SHALL BE REDUCED 25 PERCENT FOR NORMAL LOADING.

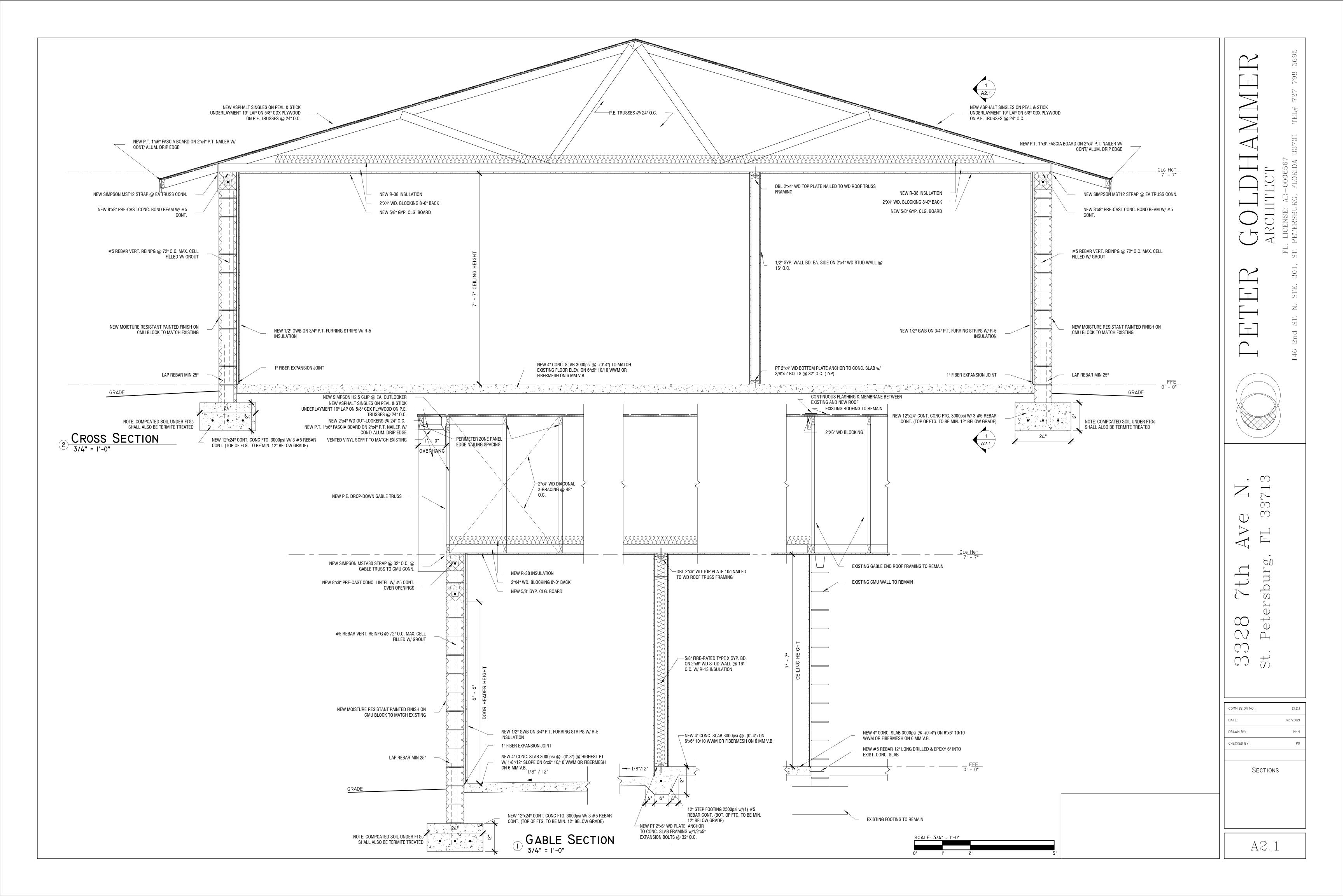
B. APPLIES TO FASTENING AT STUDS, TOP AND BOTTOM PLATES AND BLOCKING.
C. EXCEPT AS NOTED, SHEAR VALUES ARE BASED ON A MAXIMUM FRAMING SPACING OF 16 INCHES ON CENTER.
D. MAXIMUM FRAMING SPACING OF 24 INCHES ON CENTER.

D. MAXIMUM FRAMING SPACING OF 24 INCHES ON CENTER. E. ALL EDGES ARE BLOCKED, AND EDGE FASTENING IS PROVIDED AT ALL SUPPORTS AND ALL PANEL EDGES. F. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16 INCH, MEASURED OUTSIDE THE LEGS, AND SHALL BE INSTALLED WITH THEIR CROWNS PARALLEL TO THE LONG DIMENSION OF THE FRAMING MEMBERS. G. STAPLES FOR THE ATTACHMENT OF GYPSUM LATH AND WOVEN-WIRE LATH SHALL HAVE A MINIMUM CROWN WIDTH OF 3/4 INCH, MEASURED

FASTENING SCHEDULE (2020 FBC, 7TH ED. TABLE 2304.9.1)

CONNECTION	FASTENING	LOC
I. JOIST TO SILL OR GIRDER	3-8D COMMON (2 1/2"x0.131") 3-3"x0.131" NAILS	TOEN
	3-3"x0.131" 14 GAGE STAPLES	-
2. BRIDGING TO JOIST	2-8D COMMON (2 1/2"x0.131")	TOEN
	2-3"x0.131" NAILS	_
7. TOP PLATE TO STUD	2-3"x0.131" 14 GAGE STAPLES 2-16D COMMON (3 1/2"x0.162")	END N
7. TOFTERTE TO STOD	4-3"x0.131" NAILS AT 16" O.C.	
	3-3" 14 gage staples	
8. STUD TO SOLE PLATE	4-8D COMMON 92 1/2"x0.131")	TOEN
	4-3"X0.131" NAILS 3-3" 14 GAGE STAPLES	_
	2-16D COMMON (3 1/2"x0.162")	END N
	3-3"x0.131" nails	
	3-3" 14 GAGE STAPLES	
9. DOUBLE STUDS	I6D (3 1/2"x0.135") AT 24" O.C. 3"X0.131" NAILS AT 8" O.C.	FACE
	3" 14 GAGE STAPLES AT 8" O.C.	_
10. DOUBLED TOP PLATES	16d (3 1/2"x0.135") at 16" O.C.	TYPIC
	3"X0.131" NAILS AT 12" O.C.	_
	3" 14 GAGE STAPLES AT 12" O.C. 8-16D COMMON (3 1/2"x0.162")	BRAC
	12-3"X0.131" NAILS	
	12-3" 14 gage staples	
II. BLOCKING BETWEEN JOIST OR RAFTERS TO TOP PLATE	3-8D COMMON (2 1/2"x0.131")	TOEN
	3-3"x0.131" nails 3-3"x0.131" 14 gage staples	_
I2. RIM JOIST TO TOP PLATE	8D (2 1/2"x0.131") AT 6" O.C.	TOEN
	3-3"x0. 3 " nails at 6" 0.C.	
	3" 14 GAGE STAPLES AT 6" O.C.	FACE
I3. TO PLATES, LAPS AND INTERSECTIONS	2-16d COMMON (3 1/2"x0.162") 3-3"x0.131" nails	FACE
	3-3" 14 GAGE STAPLES	
14. CONTINUOUS HEADER, TWO PIECES	16d COMMON (3 1/2"x0.162")	16" 0.
I5. CEILING JOISTS TO PLATE	3-8D COMMON (2 1/2"x0.131")	TOEN
	5-3"x0.131" nails 5-3" 14 gage staples	_
I6. CONTINUOUS HEADER TO STUD	4-8D COMMON (2 1/2"x0.131")	TOEN
17. CEILING JOISTS, LAPS OVER PARTITIONS (SEE SECTION AND TABLE 2308.10.4.1)	3-16d COMMON (3 1/2"x0.162") MIN. TABLE 2308.10.4.1)	FACE
TABLE 2000.10.4.1)	4-3"X0.131" NAILS 4-3" 14 GAGE STAPLES	_
18. CEILING JOISTS TO PARALLEL RAFTER (SEE SECTION AND	3-I6D COMMON (3 1/2"x0.162") MIN. TABLE 2308.10.4.1)	FACE
TABLE 2308.10.4.1)	4-3"x0.131" NAILS	
	4-3" I4 GAGE STAPLES	TOPN
19. RAFTER TO PLATE (SEE SECTION AND TABLE 2308.10.1)	3-8D COMMON (2 1/2"x0.131") 3-3"x0.131" nails	TOEN
	3-3" I4 GAGE STAPLES	_
20. I-INCH DIAGONAL BRACE TO EA. STUD AND PLATE	2-8D COMMON (2 1/2"x0.131")	FACE
- LAIL	2-3"X0.131" NAILS 3-3" 14 GAGE STAPLES	_
21. I"x8" SHEATHING TO EACH BEARING	3-8D COMMON (2 1/2"x0.131")	FACE
22. WIDER THAN I"x8" SHEATHING TO EACH BEARING	3-8D COMMON (2 1/2"x0.131")	FACE
23. BUILT-UP CORNER STUDS	16D COMMON (3 1/2"x0.162")	24" 0
	3"x0.131" nails 3" 14 gage staples	16" 0. 16" 0.
25. 2-INCH PLANKS	16D COMMON (3 1/2"x0.162")	AT E
27. JACK RAFTER TO HIP	3-10d COMMON (3"x0.148")	TOEN
	4-3"X0.131" NAILS 4-3" 14 GAGE STAPLES	_
	2-I6D COMMON (3 1/2"x0.162")	FACE
	3-3"x0.131" NAILS	
	3-3" 14 gage staples	
28. ROOF RAFTER TO 2X RIDGE BEAM	2-16D COMMON (3 1/2"x0.162") 3-3"x0.131" nails	TOEN
	3-3" 14 gage staples	-
	2-I6D COMMON (3 I/2"x0.I62")	FACE
	3-3" 14 GAGE STAPLES	
29. JOIST TO BAND JOIST	3-16D COMMON (3 1/2"x0.162") 4-3"x0.131" nails	FACE
	4-3" I4 GAGE STAPLES	
30. LEDGER STRIP	3-16d COMMON (3 1/2"x0.162")	FACE
	4-3"X0.131" NAILS	JOIST
31. WOOD STRUCTURAL PANELS AND	4-3" 14 gage staples	
PARTICLEBOARD: SUBFLOOR, ROOF AND WALL 1/2" AND LESS	6D COMMON (2 3/8"x0.131") (SEE C,L,N)	
SHEATHING (TO FRAMING):	3/4"  6 GAGE (SEE 0)	_
	8D OR 6D (SEE D,E)	_
	2 3/8"x0.113" NAIL (SEE P) 2" 16 GAGE (SEE P)	-
	8D (SEE C)	
	IOD OR 8D (SEE D,E)	_
SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO 3/4" AND LESS	FRAMING): 6D (SEE E)	-
7/8" - 1"	8D (SEE E)	
/8" -    /4"	IOD OR 8D (SEE D,E)	
32. PANEL SIDING (TO FRAMING) I/2" OR LESS		_
5/8" 33. FIBERBOARD SHEATHING (SEE G) 1/2"	8D (SEE T)	-
	NO. II GAGE ROOFING NAIL (SEE H)	-
	NO. II gage roofing nail (see h)           6D COMMON NAIL (2"x0.113")	
		_
25/32"	6D COMMON NAIL (2"x0.113") NO. 16 gage staple (see i)	
	6D COMMON NAIL (2"x0.II3")	-
	6D COMMON NAIL (2"x0.113") NO. 16 gage staple (see 1) NO. 11 gage roofing nail (see h)	
	6D COMMON NAIL (2"x0.113") NO. 16 GAGE STAPLE (SEE 1) NO. 11 GAGE ROOFING NAIL (SEE H) 8D COMMON NAIL (2 1/2"x0.113")	





### PETER GOLDHAMMER ARCHITECT FLORIDA # 0006567 146 2<sup>nd</sup> ST. N., ste. 301 ST. PETERSBURG, FLORIDA 33701 Tel. # 727 798 5695 Fax. # 727 258 0045

Date: April 25, 2022

- Attn: Building Official St. Petersburg Building Dept.
- Ref address: 3328 7<sup>th</sup> Ave N St. Petersburg, FL
- Permit #: 22-02000851

This letter will serve as an answer to the comments of the permit listed above:

### **Historical Board Review**

- 1. West side covered patio add to floor plans and elevations as shown on sheets 00, A1.0, A1.1, & A2.0. Revision B1.
- 2. New windows revised to match existing window style as shown on sheets A1.0 & A2.0, revision B2.

Submitted by,

Peter Goldhammer, Architect

# GENERAL REQUIREMENTS

I - IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARKS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO THE FOLLOWING: THE ADDITION OF WHATEVER TEMPORARY BRACING, GUYS OR TIE=DOWNS WHICH MAY BE NECESSARY.

2 - COORDINATE ALL DIMENSIONS AND ELEVATION WITH THE ARCHITECTURAL DRAWINGS.

3 - CONTACT THE ARCHITECT WITH ANY QUESTIONS OR

DISCREPANCIES FOUND ON THE DRAWINGS.

4 - SUBMIT SHOP DRAWINGS AS REQUIRED HEREIN. ALLOW FOR ONE WEEK REVIEW TIME AFTER RECEIPT BY THIS FIRM. NO FABRICATION IS TO PROCEED PRIOR TO REVIEW BY THE DESIGNER.

# DESIGN CRITERIA

I - APPLICABLE BUILDING CODE: 2020 FLORIDA BUILDING CODE, 7тн EDITION

2 - DESIGN LIVE LOADS: ROOF BEDROOM

30 PSF 30 PSF 40 PSF

FLOOR AREA AND BATHROOM 3 - DESIGN WIND VELOCITY = 145 MPH

4 - ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE 2020 FLORIDA BUILDING CODE, 7TH EDITION.

CAST-IN-PLACE CONCRETE

I. CONCRETE TO BE NORMAL WEIGHT WITH THE FOLLOWING	MINIMUM
COMPRESSIVE STRENGTHS AT TWENTY-EIGHT (28) DAYS:	
A) FOOTINGS, SLAB-ON-GRADE, SLAP FILL	3000psi
в) MASONRY WALL TIE BEAMS, TIE COLUMNS	3000psi
c) FREE-STANDINGS COLUMNS	4000PSI

	C) I REE STANDINGS COEDI INS	4000131
	D) FREE-SPANNING BEAMS	4000PSI
2.	CONCRETE SHALL BE READY-MIX PER	ASTM C94 AS FOLLOWS:
	A) PORTLAND CEMENT	ASTM CI50
		ACTM (37/ MAV)

	B) AGGREGATES	ASTM C33 (3/4" MAX.)
	c) NO CALCIUM CHLORIDE	
	D) AIR ENTRAINING	ASTM C260
	E) WATER REDUCING	ASTM C494
	F) FLYASH	ASTM C618-78 CLASS F (***%
ΜΛΧ)		

MAX.)

3. REINFORCING STEEL: ASTM A615 GRADE 40

4. REQUIRED SLUMP RANGE AT DISCHARGE END OF TRUCK EQUALS (=)

THREE (3") TO FIVE (5") INCHES.

5. WELDED WIRE FABRIC: ASTM AI85

6. CODES AND STANDARDS:
A) ACI 301 - "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS."
B) ACI 305 - "RECOMMENDED PRACTICE FOR HOT WEATHER CONCRETING."
c) ACI 318 - "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE."
D) ACI 315 - "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT."

### MASONRY

<u>CARPENTRY</u>

I. HOLLOW LOAD BEARING UNITS SHALL CONFORM TO ASTM C90, NORMAL WEIGHT TYPE N2, WITH A MINIMUM COMPRESSIVE STRENGTH OF 1500

2. MORTAR SHALL BE TYPE M OR S AND CONFORM TO ASTM C270. MORTAR SHALL BE USED WITHIN TWO (2) HOURS OF MIXING

3. COARSE GROUT SHALL CONFORM TO ASTM C467 WITH A MAXIMUM AGGREGATE SIZE OF THREE-EIGHTS (3/8" INCH AND A MINIMUM COMPRESSIVE STRENGTH OF 2500PSI.

4. VERTICAL BARS SHALL BE HELD IN POSITION AT THE TOP AND BOTTOM AND AT 8'-0" O.C. MAXIMUM WITH A MINIMUM CLEARANCE OF ONE-QUARTER (I/4") INCH FROM MASONRY AND NOT LESS THAN ONE BAR DIAMETER BETWEEN BARS.

5. VERTICAL REINFORCING SHALL BE AS SHOWN ON THE DRAWINGS. FILL CELLS WITH COARSE GROUT AS SPECIFIED.

6. PLACE ALL MASONRY IN RUNNING BOND WITH THREE-EIGHTS (3/8") INCH MORTAR JOINTS.

I. DIMENSION LUMBER SHALL BE DRESSED S4S, AND SHALL BEAR THE GRADE STAMP OF THE MANUFACTURER'S ASSOCIATION.

2. ALL LUMBER, UNLESS OTHERWISE NOTED, SHALL BE SOUTHERN PINE NUMBER 2 GRADE OR BETTER:

FB	=	1,200psi
Fv	=	90psi
Fc	=	975psi
E	=	1,600,000PSI
19% (NINETEEN	1 %) MAXIMUM	MOISTURE CONTENT

3. ALL LUMBER IN CONTACT WITH MASONRY AND CONCRETE SHALL BE PRESSURE TREATED. PRESSURE TREATED LUMBER SHALL BE IMPREGNATED WITH A CCA SALT TREATMENT IN ACCORDANCE WITH F.S. TT-W-57I AND BEAR THE AMERICAN WOOD PRESERVES INSTITUTE QUALITY MARK LP-2.

4. PLYWOOD SHEATHING SHALL BE DFPA CD WITH EXTERIOR GLUE. ALL ROOF SHEATHING TO BE INSTALLED WITH PLYCLIPS.

5. INSTALL BRIDGING IN ALL FLOOR OR ROOF JOISTS AT 8'-0" (EIGHT-FEET-ZERO-INCH) O.C. MAXIMUM.

6. ALL NAILING AND BOLTING SHALL COMPLY WITH THE AMERICAN INSTITUTE OF TIMBER CONSTRUCTION REQUIREMENTS.

7. ALL CONNECTION HARDWARE SHALL BE GALVANIZED AND SUPPLIED BY SIMPSON STRONGTIE CO OR EQUAL.

8. PROVIDE A SINGLE PLATE AT THE BOTTOM AND DOUBLE PLATE AT THE TOP OF ALL STUD WALLS.

9. STUDS SHALL BE DOUBLED AT ALL ANGLES AND AROUND ALL OPENINGS. STUDS SHALL BE TRIPLED AT ALL EXTERIOR CORNERS ONLY.

10. ALL OUTSIDE CORNERS SHALL BE BRACED WITH GALVANIZED SIMPSON STRONGTIE DIAGONAL BRACES OR 1/2" PLYWOOD PANELS 4'-0" MIN. E.W.

II. EXTERIOR WOOD LINTELS OVER OPENINGS SHALL BE DOUBLE 2"x6" (TWO-BY-SIX) HEADERS FOR SPANS UP TO 3'-0" (THREE-FEET-ZERO-INCH) AND DOUBLE 2"x8" (TWO-BY-EIGHT) HEADERS FOR 3'-0" TO 7'-0". SEE PLANS FOR SPANS GREATER THAN 7'-0". STRAP ALL HEADERS W/ LSTA I5'S.

12. ALL NAILING OF PLYWOOD SHEATHING AT PERIMETER 4' OF ROOF AND 4' FROM EXTERIOR CORNERS OF WALLS TO BE 8D AND 4: O.C.

FRAMING NOTES:

ALL INTERIOR DIMENSIONS ARE GIVEN TO THE INDICATED FACE OF STUD UNLESS NOTED OTHERWISE

ALL EXTERIOR DIMENSIONS ARE GIVEN TO THE FACE OF THE STUD OR FACE OF BLOCK (AS APPROPRIATE) WHICH LINES WITH THE FOUNDATION BELOW

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### FASTENING SCHEDULE (2020 FBC, 7TH ED. TABLE 2306.3(3)

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	1/2" x 4'	BLOCKED SEE D	4" O.C.	17
		UNBLOCKED	7" O.C.	10
4. GYPSUM BOARD, GYPSUM VENEER	1/2"	UNBLOCKED SEE D	7" O.C.	7!
BASE, OR WATER-RESISTANT GYPSUM		UNBLOCKED SEE D	4" O.C.	Ш
BACKING BOARD		UNBLOCKED	7" O.C.	10
		UNBLOCKED	4" O.C.	12
		UNBLOCKED SEE E	7" O.C.	12
		UNBLOCKED SEE E	4" O.C.	15
	5/8"	UNBLOCKED SEE D	7" O.C.	
			4" O.C.	14
		BLOCKED SEE E	7" O.C.	14
			4" O.C.	17
		BLOCKED SEE E TWO-PLY	BASE PLY: 9	2
			BASE PLY: 7	1

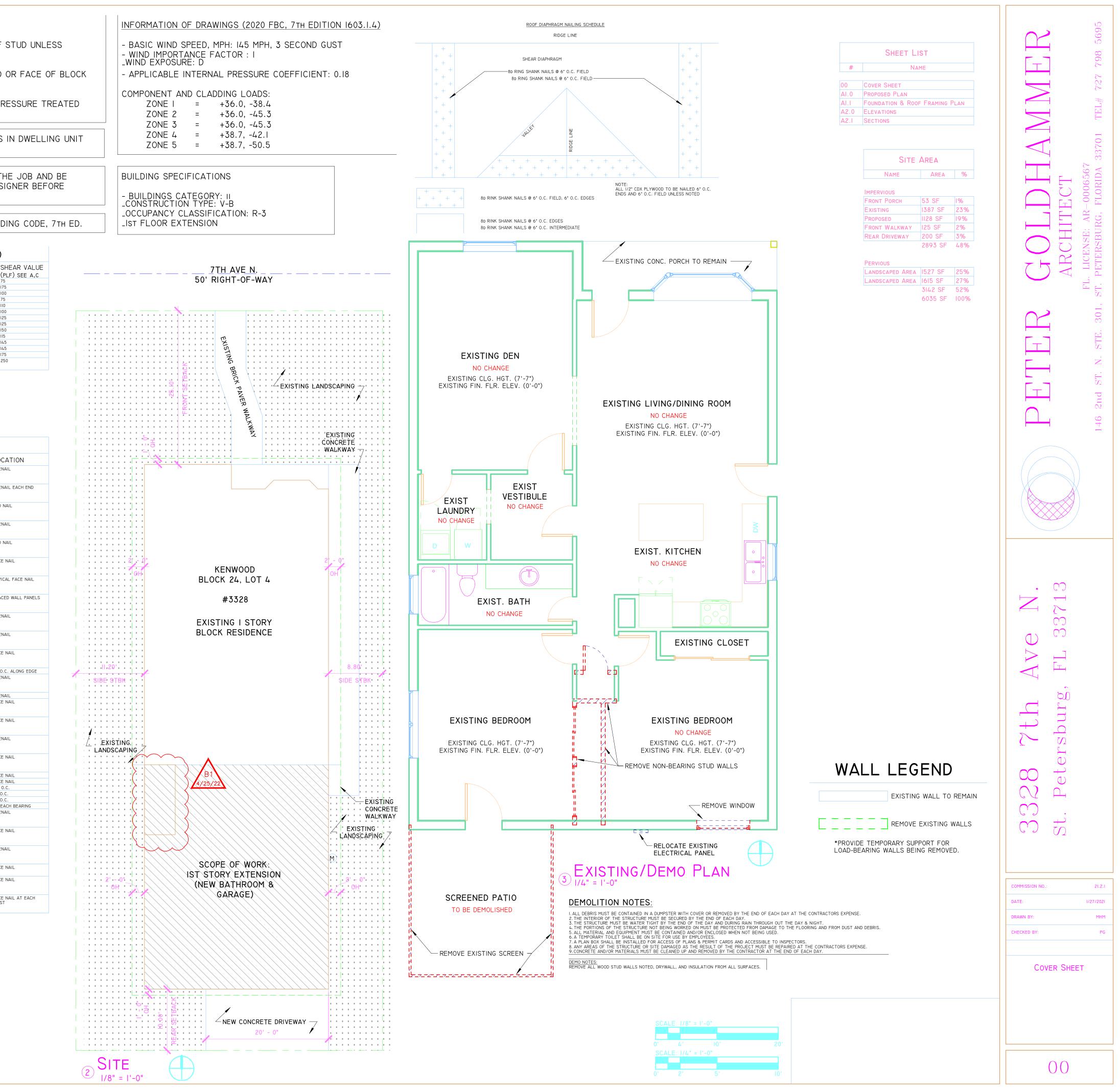
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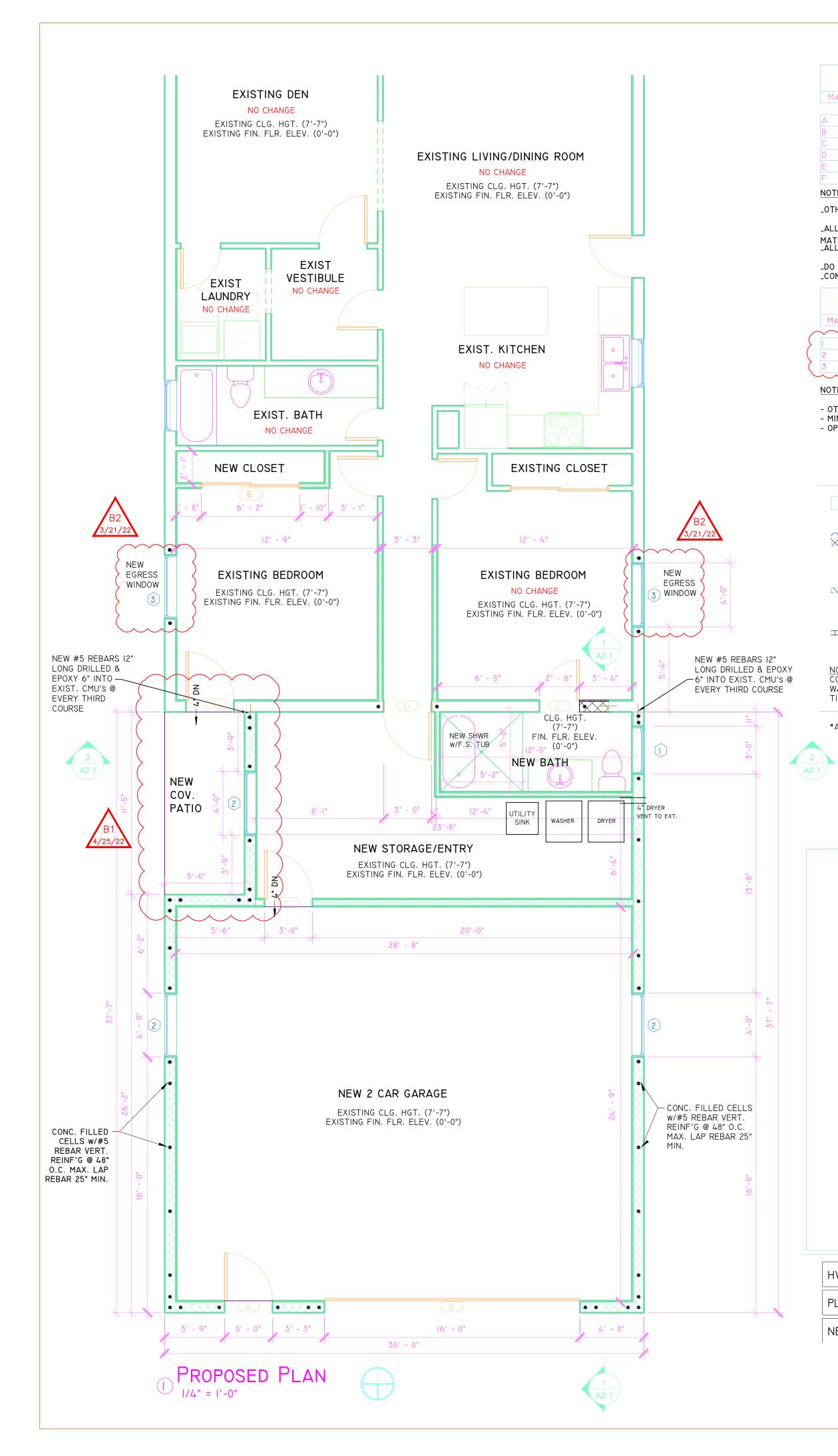
B. APPLIES TO FASTENING AT STUDS, TOP AND BOTTOM PLATES AND BLOCKING.
C. EXCEPT AS NOTED, SHEAR VALUES ARE BASED ON A MAXIMUM FRAMING SPACING OF IG INCHES ON CENTER.
D. MAXIMUM FRAMING SPACING OF 24 INCHES ON CENTER.
E. ALL EDGES ARE BLOCKED, AND EDGE FASTENING IS PROVIDED AT ALL SUPPORTS AND ALL PANEL EDGES.

F. STAPLES SHALL HAVE A MINIMUM CROWN WIDTH OF 7/16 INCH, MEASURED OUTSIDE THE LEGS, AND SHALL BE INSTALLED WITH THEIR
 CROWNS PARALLEL TO THE LONG DIMENSION OF THE FRAMING MEMBERS.
 G. STAPLES FOR THE ATTACHMENT OF GYPSUM LATH AND WOVEN-WIRE LATH SHALL HAVE A MINIMUM CROWN WIDTH OF 3/4 INCH, MEASURED

### FASTENING SCHEDULE (2020 FBC, 7TH ED. TABLE 2304.9.1)

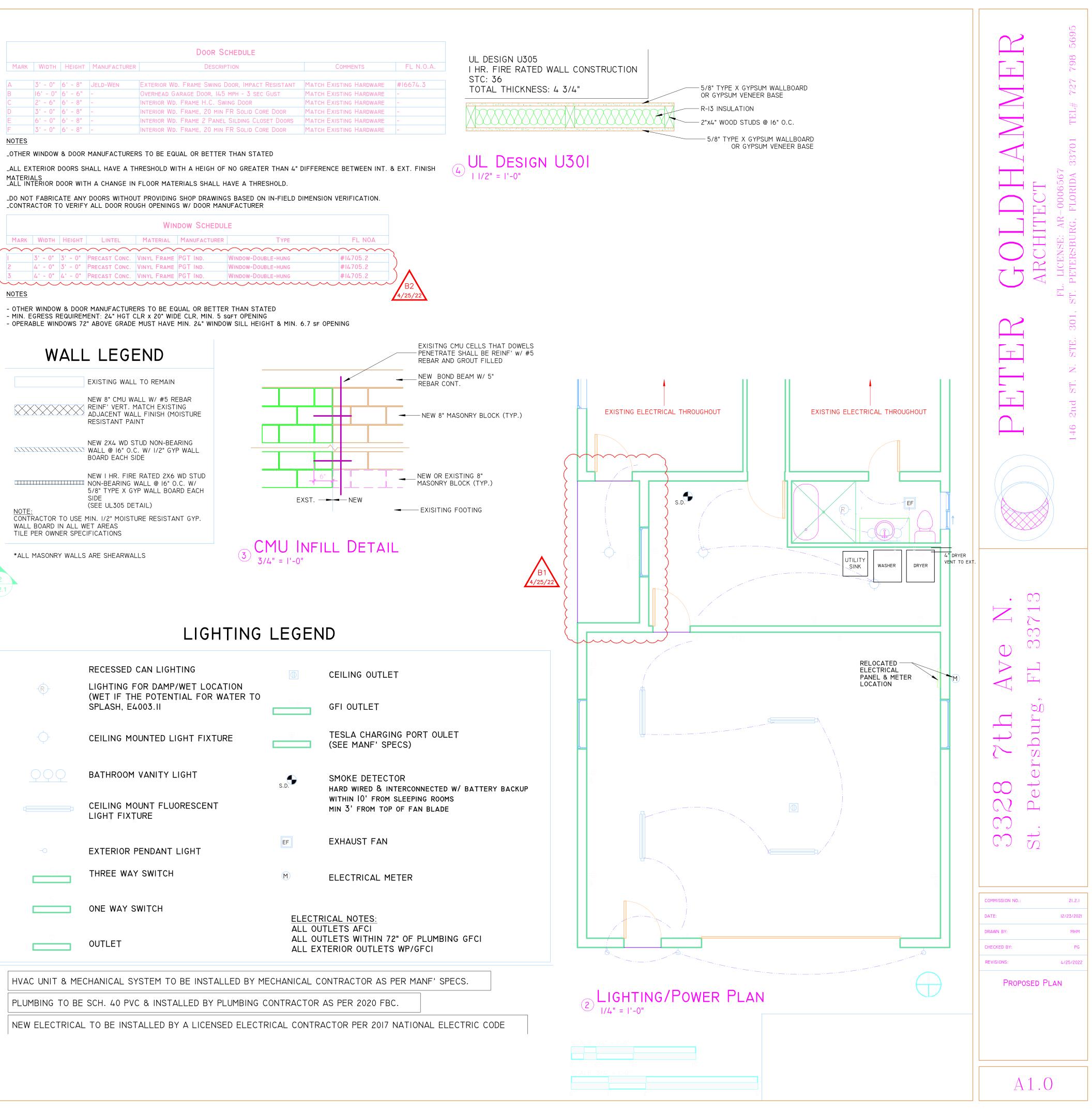
CONNECTION		FASTENING	LOCA
. JOIST TO SILL OR GIRDER		3-8D COMMON (2 1/2"x0.131")	TOENA
		3-3"x0.131" NAILS 3-3"x0.131" 14 GAGE STAPLES	_
2. BRIDGING TO JOIST		2-8d COMMON (2 1/2"x0.131")	TOENA
		2-3"x0.131" NAILS 2-3"x0.131" 14 gage staples	_
7. TOP PLATE TO STUD		2-16D COMMON (3 1/2"x0.162")	END NA
		4-3"X0.131" NAILS AT 16" O.C.	
8. STUD TO SOLE PLATE		3-3" 14 GAGE STAPLES 4-8D COMMON 92 1/2"x0.131")	TOENA
STOD TO SOLL FLATL		4-3"x0.131" NAILS	TOENA
		3-3" 14 GAGE STAPLES	
		2-16d COMMON (3 1/2"x0.162") 3-3"x0.131" nails	END NA
		3-3" 14 GAGE STAPLES	_
9. DOUBLE STUDS	-	I6D (3 1/2"x0.135") AT 24" O.C.	FACE N
		3"X0.I3I" NAILS AT 8" O.C. 3" 14 gage staples at 8" O.C.	_
10. DOUBLED TOP PLATES		I6d (3 1/2"x0.135") at 16" O.C.	TYPICA
	-	3"X0.131" NAILS AT 12" O.C. 3" 14 gage staples at 12" O.C.	_
		8-16D COMMON (3 1/2"x0.162")	BRACE
		12-3"X0.131" NAILS	_
II. BLOCKING BETWEEN JOIST OR RAFTERS TO		12-3" 14 GAGE STAPLES 3-8D COMMON (2 1/2"x0.131")	TOENA
II. BLUCKING BETWEEN JUIST OK KALTERS TO	OF FLATL	3-3"x0.131" NAILS	TULINA
		3-3"x0.131" 14 gage staples	
12. RIM JOIST TO TOP PLATE		8D (2 1/2"X0.131") AT 6" O.C.	TOENA
	-	3-3"x0.131" nails at 6" O.C. 3" 14 gage staples at 6" O.C.	-
3. TO PLATES, LAPS AND INTERSECTIONS		2-16d COMMON (3 1/2"x0.162")	FACE N
	-	3-3"x0.131" NAILS 3-3" 14 GAGE STAPLES	-
4. CONTINUOUS HEADER, TWO PIECES		16D COMMON (3 1/2"x0.162")	16" O.C.
5. CEILING JOISTS TO PLATE		3-8d COMMON (2 1/2"x0.131")	TOENA
		5-3"x0.131" NAILS 5-3" 14 GAGE STAPLES	_
16. CONTINUOUS HEADER TO STUD		4-8D COMMON (2 1/2"x0.131")	TOENA
I7. CEILING JOISTS, LAPS OVER PARTITIONS (SE TABLE 2308.10.4.1)	SECTION AND	3-16d COMMON (3 1/2"x0.162") MIN. TABLE 2308.10.4.1)	FACE N
TABLE 2300.10.4.1)		4-3"X0.131" NAILS 4-3" 14 GAGE STAPLES	_
18. CEILING JOISTS TO PARALLEL RAFTER (SEE	SECTION AND	3-16D COMMON (3 1/2"x0.162") MIN. TABLE 2308.10.4.1)	FACE N
TABLE 2308.10.4.1)		4-3"X0.131" NAILS	
19. RAFTER TO PLATE (SEE SECTION AND TABLE 23	08 10 1)	4-3" 14 GAGE STAPLES 3-8D COMMON (2 1/2"x0.131")	TOENA
		3-3"x0.131" NAILS	1 O E I V I
		3-3" 14 GAGE STAPLES	
20. I-INCH DIAGONAL BRACE TO EA. STUD AND PLATE		2-8d COMMON (2 1/2"x0.131") 2-3"x0.131" nails	FACE N
		3-3" 14 gage staples	
21. I"x8" SHEATHING TO EACH BEARING 22. WIDER THAN I"x8" SHEATHING TO EACH BEA	PING	3-8D COMMON (2 1/2"x0.131") 3-8D COMMON (2 1/2"x0.131")	FACE N
23. BUILT-UP CORNER STUDS		I6D COMMON (3 1/2"x0.162")	24" 0.0
	-	3"x0.131" NAILS	16" O.C.
25. 2-INCH PLANKS		3" 14 GAGE STAPLES 16D COMMON (3 1/2"x0.162")	16" 0.C. AT EAC
27. JACK RAFTER TO HIP		3-10D COMMON (3"x0.148")	TOENA
		4-3"X0.131" NAILS 4-3" 14 GAGE STAPLES	_
		2-16D COMMON (3 1/2"x0.162")	FACE N
		3-3"x0.131" nails	
28. ROOF RAFTER TO 2X RIDGE BEAM		3-3" 14 GAGE STAPLES 2-16D COMMON (3 1/2"x0.162")	TOENA
E BALLER TO EXTINGLE DEALT		3-3"x0.131" NAILS	. JENA
	-	3-3" 14 GAGE STAPLES	F / 07
	-	2-16D COMMON (3 1/2"x0.162") 3-3" 14 gage staples	FACE N
29. JOIST TO BAND JOIST		3-I6D COMMON (3 1/2"x0.162")	FACE N
		4-3"X0.131" NAILS	_
30. LEDGER STRIP		4-3" 14 GAGE STAPLES 3-16D COMMON (3 1/2"X0.162")	FACE N
		4-3"x0.131" NAILS	JOIST
		4-3" 14 gage staples	
31. WOOD STRUCTURAL PANELS AND PARTICLEBOARD: SUBFLOOR, ROOF AND WALL	1/2" AND LESS	6D COMMON (2 3/8"x0.131") (SEE C,L,N)	
SHEATHING (TO FRAMING):		I 3/4" I6 GAGE (SEE 0)	
-	19/32" - 3/4"	8D OR 6D (SEE D,E)	_
		2 3/8"X0.113" NAIL (SEE P) 2" 16 GAGE (SEE P)	-
		8D (SEE C)	
	7/8" - I"	IOD OR 8D (SEE D,E)	_
SINGLE FLOOR (COMBINATION SUBFLOOR-UND		FRAMING): 6D (SEE E)	_
<u>-</u>	7/8" - I"	8D (SEE E)	-
	/8" -    /4"	IOD OR 8D (SEE D,E)	_
32. PANEL SIDING (TO FRAMING)	1/2" OR LESS 5/8"	6D (SEE T) 8D (SEE T)	_
33. FIBERBOARD SHEATHING (SEE G)	I/2"	NO. II GAGE ROOFING NAIL (SEE H)	
· · · · · · · · · · · · · · · · · · ·		6D COMMON NAIL (2"x0.113")	-
	F	NO. 16 gage staple (see 1)	_
_	25/32"		
-	25/32"	NO. II GAGE ROOFING NAIL (SEE H)	_
	25/32"	8D COMMON NAIL (2 1/2"x0.113")	-
	25/32"		-





				DOOR SCHEDULE		
Mark	Width	Height	MANUFACTURER	DESCRIPTION	Comments	FL N.O.A.
А	3' - 0"	6' - 8"	JELD-WEN	Exterior Wd. Frame Swing Door, Impact Resistant	MATCH EXISTING HARDWARE	#16674.3
В	16' - 0"	6' - 6"	-	Overhead Garage Door, 145 mph - 3 sec Gust	MATCH EXISTING HARDWARE	-
С	2' - 6"	6' - 8"	-	INTERIOR WD. FRAME H.C. SWING DOOR	MATCH EXISTING HARDWARE	-
D	3' - 0"	6' - 8"	-	INTERIOR WD. FRAME, 20 MIN FR SOLID CORE DOOR	MATCH EXISTING HARDWARE	-
Ξ	6' - 0"	6' - 8"	-	INTERIOR WD. FRAME 2 PANEL SILDING CLOSET DOORS	MATCH EXISTING HARDWARE	-
F	3' - 0"	6' - 8"	-	INTERIOR WD. FRAME, 20 MIN FR SOLID CORE DOOR	MATCH EXISTING HARDWARE	-

				WIN	DOW SCHEDUL	E	
MARK	WIDTH	Height	LINTEL	MATERIAL	MANUFACTURER	Түре	FL NOA
$\frown$	$\sim$	$\sim$		$\sim$	~~~~~		$\sim$
		71 01	PRESACT CONC	VINYL FRAME	PGT IND	WINDOW-DOUBLE-HUNG	#14705.2
	3' - 0"	5' - 0"	FRECAST CONC.	VINTE LINATIE	i o i ind.	WINDOW DOODLE HONO	#14705.L
2	3' - 0" 4' - 0"		PRECAST CONC. PRECAST CONC.			WINDOW-DOUBLE-HUNG	#14705.2













# Appendix B:

Maps of Subject Property



**Community Planning and Preservation Commission** 

### 3328 7th Ave N

AREA TO BE APPROVED,

**SHOWN IN** 



**CASE NUMBER** 22-90200052



