



CITY OF ST. PETERSBURG, FLORIDA  
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT  
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

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## STAFF REPORT

### Community Planning and Preservation Commission Certificate of Appropriateness Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action scheduled for **Tuesday, July 12, 2022, beginning at 2:00 p.m.**, in Council Chambers of City Hall, 175 Fifth St. N., St. Petersburg, Florida. Everyone is encouraged to view the meetings on TV or online at <https://www.stpete.org/connect-with-us/stpete-tv.php>.

*According to Planning & Development Services Department records, no member of the Community Planning and Preservation Commission has a direct or indirect ownership interest in real property located within 2,000 linear feet of real property contained with the application (measured in a straight line between the nearest points on the property lines). All other possible conflicts should be declared upon the announcement of the item.*



<b>Case No.:</b>	<b>22-9020052</b>
Address:	3328 7 <sup>th</sup> Ave N
Legal Description:	KENWOOD SUB ADD BLK 21, LOT 4
Parcel ID No.:	14-31-16-46350-021-0040
Date of Construction:	1979-1980
Local Landmark:	Kenwood Section – Northwest Kenwood Local Historic District (18-90300008) [Non-Contributing Property]
Owner:	Kim, Dae-Kun Kim, Lan

Request: Review of a Certificate of Appropriateness for an addition to 3328 7<sup>th</sup> Ave N, a non-contributing building within a local historic district

## Historical Context and Significance

The property at 3328 7<sup>th</sup> Ave N ("the subject property") was constructed in 1979-1980, which is after the conclusion of the Kenwood Section – Northwest Kenwood Local Historic District's Period of Significance. As such it was listed as a non-contributing property during the district's designation. Nonetheless, it follows the general form of earlier post-War homes typical to the subject district, with a front-gabled roof form and integral front porch. An attached garage originally occupied a portion of the subject property's façade, but it has since been infilled and the driveway has been removed. This is visible at the right side of the photograph above.

As seen below, the subject property generally follows the front setback of the block face. Several properties in the direct vicinity, both contributing and non-contributing, feature front-gabled forms with fairly substantial massing running for much of the length of the property, in a way similar to the proposed addition to the subject property.



Figure 1: Aerial of vicinity. Subject property shown with dashed box; western boundary of subject district shown in blue.



**Figure 2: Alley to south of property, looking west, showing neighboring property's rear massing and setback. Subject property's rear setback marked with red plane.**

## Project Description and Review

### Project Description

The proposal would create a rear addition with total dimensions of approximately 37 feet, 7 inches long by 30 feet wide. The appended space would include a new two-car alley-facing garage, utility room, bathroom, and covered patio. A screened porch currently at the subject property's rear elevation would be removed to accommodate the new addition.

The proposed addition is largely designed as an extension of the existing building form, featuring the following elements:

- A continuation of the existing gable form toward the rear (south) of the property,
- Concrete masonry unit construction,
- Asphalt shingle roofing, and
- Vinyl sash windows with concrete sills

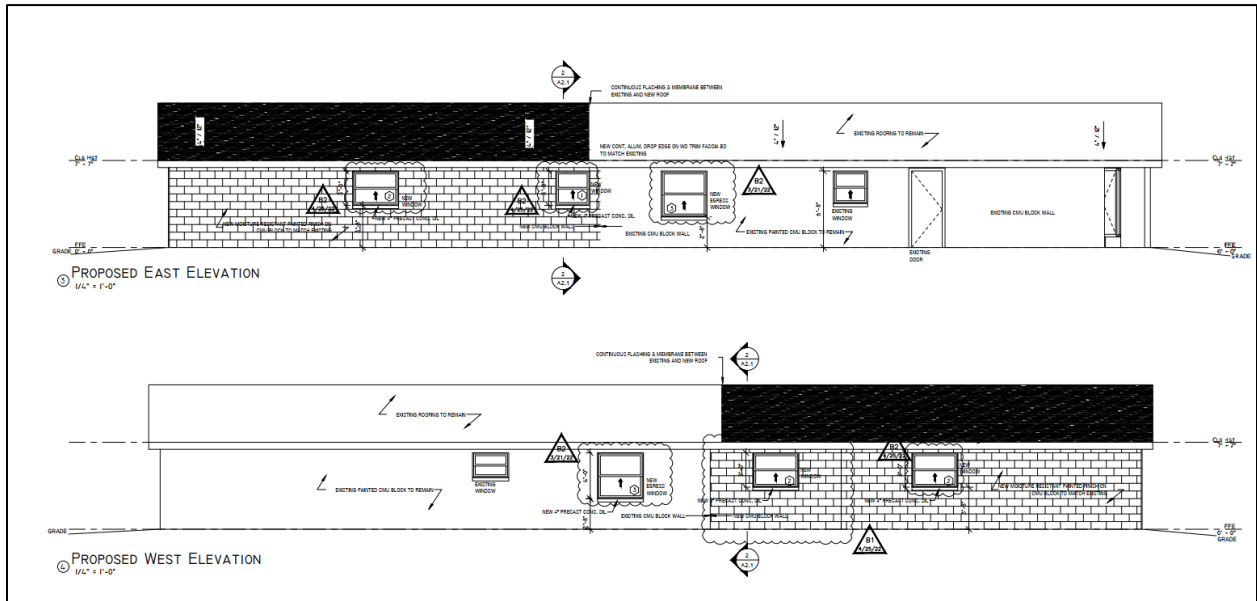


Figure 3: Proposed side (east and west) elevations

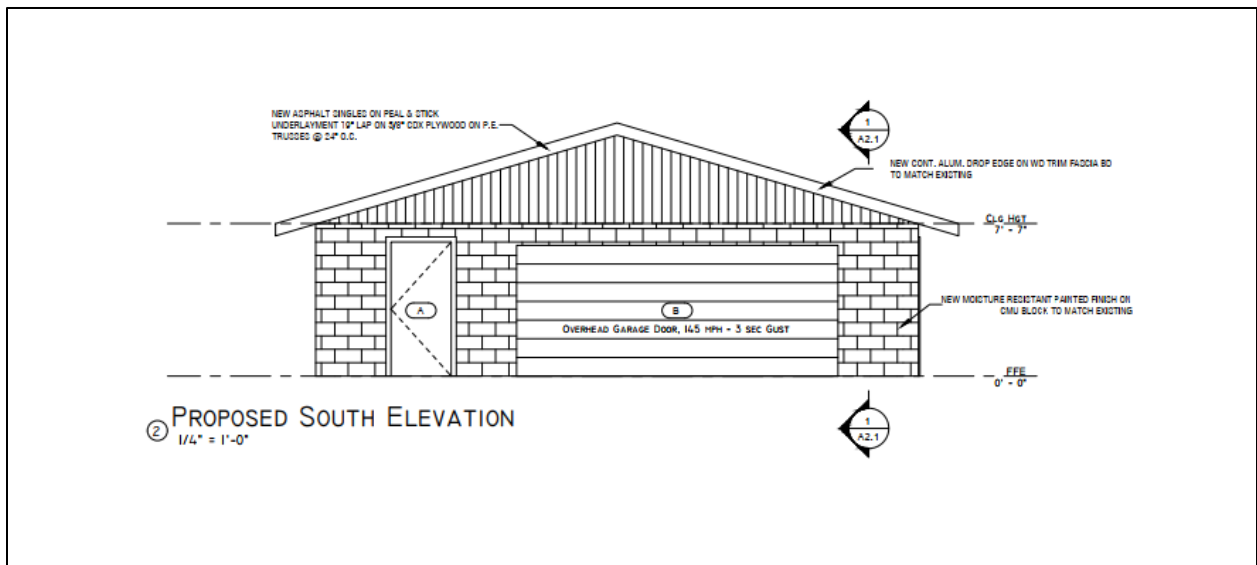


Figure 4: Proposed rear (south) elevation

General Criteria for Granting Certificates of Appropriateness

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

**Consistent**

As the subject property is listed as a noncontributing property within the subject district, the primary concern of this review is to prevent negative impacts to the historic integrity of contributing properties and the district as a whole. In the case of additions to noncontributing properties, this is often accomplished by discouraging additions with out-of-context massing or scale, which would overshadow contributing properties in the vicinity.

The proposal largely mirrors the scale of an addition to an adjacent contributing property, albeit a large and non-historic addition. Nonetheless, the construction of the proposed addition would not create a visual burden within the district. The fact that the subject property is at the western edge of the subject district, adjacent to the beginning of a commercial zone, further lessens the potential impact of the proposal.

The property owner has added a recessed porch to the west elevation at the "seam" between the original home and the addition to create a visual break, evidence of the addition to the future viewer, and break down the massing of the building following input from City historic preservation staff.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

**Consistent** As noted, the visibility of this alteration from other properties and public spaces in the subject district is quite low. The proposal would have no visible impact to the front of the subject property.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

**Consistent** As noted above, the proposed addition would not affect the property's façade. Given its placement it would be minimally visible from elsewhere in the subject district.

4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

**Information not provided**

5. *Whether the plans may be reasonably carried out by the applicant.*

**Consistent** No indication that the plans cannot reasonably be carried out has been noted by staff.

6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

**Consistent** The property is noncontributing and sits at the western boundary of the subject district. As shown in images above, several nearby properties (both contributing and noncontributing) have been altered through either rear additions, or through infill connecting what would have historically been garages detached from primary residences.

The applicant has added a porch to the west side of the proposed addition to decrease the overall bulk of the building and reference the articulation

between residence and garage space that is typical to contributing properties in the subject district.

#### Additional Guidelines for New Construction

In approving or denying applications for a COA for new construction (which includes additions to an existing structure), the Commission and the POD shall also use the following additional guidelines.

1. *The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.*

**Consistent** The proposed addition will be placed behind the existing residence and with a consistent gable peak to that of the existing roof form.

2. *The relationship of the width of the new construction to the height of the front elevation shall be visually compatible with contributing resources in the district.*

**Consistent** The new addition is located on the rear and will not be visible from the front elevation.

3. *The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.*

**Consistent** Several windows at the existing residence have been replaced already, making complete consistency a challenge. The new windows will reference the existing windows in configuration and size.

4. *The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.*

**Not applicable** The proposal does not include any changes to the façade of the building.

5. *The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.*

**Consistent** The proposed addition will be located on the rear of the property. As noted above, a number of properties in the subject district have been modified over time to create long stretches of enclosed space running nearly the entire length of their parcels. The proposal will be visually compatible with other contributing resources in the proposed district, particularly given the revision to add a recessed porch to provide some articulation between original building and addition.

6. *The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.*

**Not applicable**

7. *The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.*

**Consistent**        The proposed addition will feature materials to match the existing house.

8. *The roof shape of the new construction shall be visually compatible with contributing resources in the district.*

**Consistent**        The proposed roof will add to the rear-facing gable.

9. *Appurtenances of the new construction such as walls, gates and fences, vegetation and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.*

**Consistent**

10. *The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.*

**Consistent**

11. *The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.*

**Consistent**

12. *New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.*

**Consistent**

13. *New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.*

**Consistent**        The proposed addition could be removed without altering the essential form and integrity of the resource.

#### Summary of Findings, Certificate of Appropriateness Review

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- General Criteria for Granting Certificates of Appropriateness: 5 of 5 relevant criteria satisfied.
- Addition Guidelines for New Construction: 11 of 11 relevant criteria met.

### Staff Recommendation

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve with conditions** the Certificate of Appropriateness request for the addition to the property at 3328 7<sup>th</sup> Ave N, a noncontributing property to the Northwest Kenwood Local Historic District, subject to the following:

1. A historic preservation final inspection will be required.
2. All other necessary permits shall be obtained. Any additional work shall be presented to staff for determination of the necessity of additional COA approval.
3. This approval will be valid for 24 months from the date of this hearing, with an expiration date of July 12, 2024.



# Appendix A:

Application No. 22-90200052



**st.petersburg**  
www.stpete.org

# CERTIFICATE OF APPROPRIATENESS

## APPLICATION

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura.Duvekot@stpete.org

### GENERAL INFORMATION

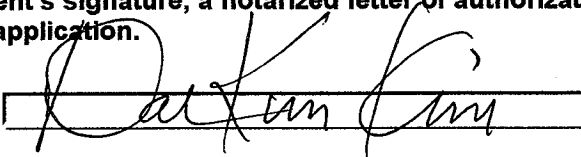
3328 7th Ave N. St. Petersburg, FL 33713	14-31-16-46350-021-0040
Property Address Kenwood	Parcel Identification No. BP22-02000851
Historic District / Landmark Name Dae-Kun Kim	Corresponding Permit Nos. 727-415-5579
Owner's Name 3328 7th Ave N. St. Petersburg, FL 33713	Property Owner's Daytime Phone No. daekunkim1@gmail.com
Owner's Address, City, State, Zip Code Ronald Marshall	Owner's Email 813-422-7280
Authorized Representative (Name & Title), if applicable 5508 N. 50th St. Tampa, FL 33610	Representative's Daytime Phone No. info@rambuildinc.com
Representative's Address, City, State, Zip Code	Representative's Email

APPLICATION TYPE (Check applicable)		TYPE OF WORK (Check applicable)	
<input checked="" type="checkbox"/>	Addition	<input type="checkbox"/>	Window Replacement
<input checked="" type="checkbox"/>	New Construction	<input type="checkbox"/>	Door Replacement
<input type="checkbox"/>	Demolition	<input type="checkbox"/>	Roof Replacement
<input type="checkbox"/>	Relocation	<input type="checkbox"/>	Mechanical (e.g. solar)
<input type="checkbox"/>	Other:	<input type="checkbox"/>	Repair Only
		<input type="checkbox"/>	In-Kind Replacement
		<input type="checkbox"/>	New Installation
		<input type="checkbox"/>	Other:

### AUTHORIZATION

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES:**
- 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.
  - 2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner:	<u></u>	Date:	<u>4/29/2022</u>
Signature of Representative:	<u>Ronald Marshall</u>	Date:	<u>5/2/22</u>



# CERTIFICATE OF APPROPRIATENESS

**APPLICATION**

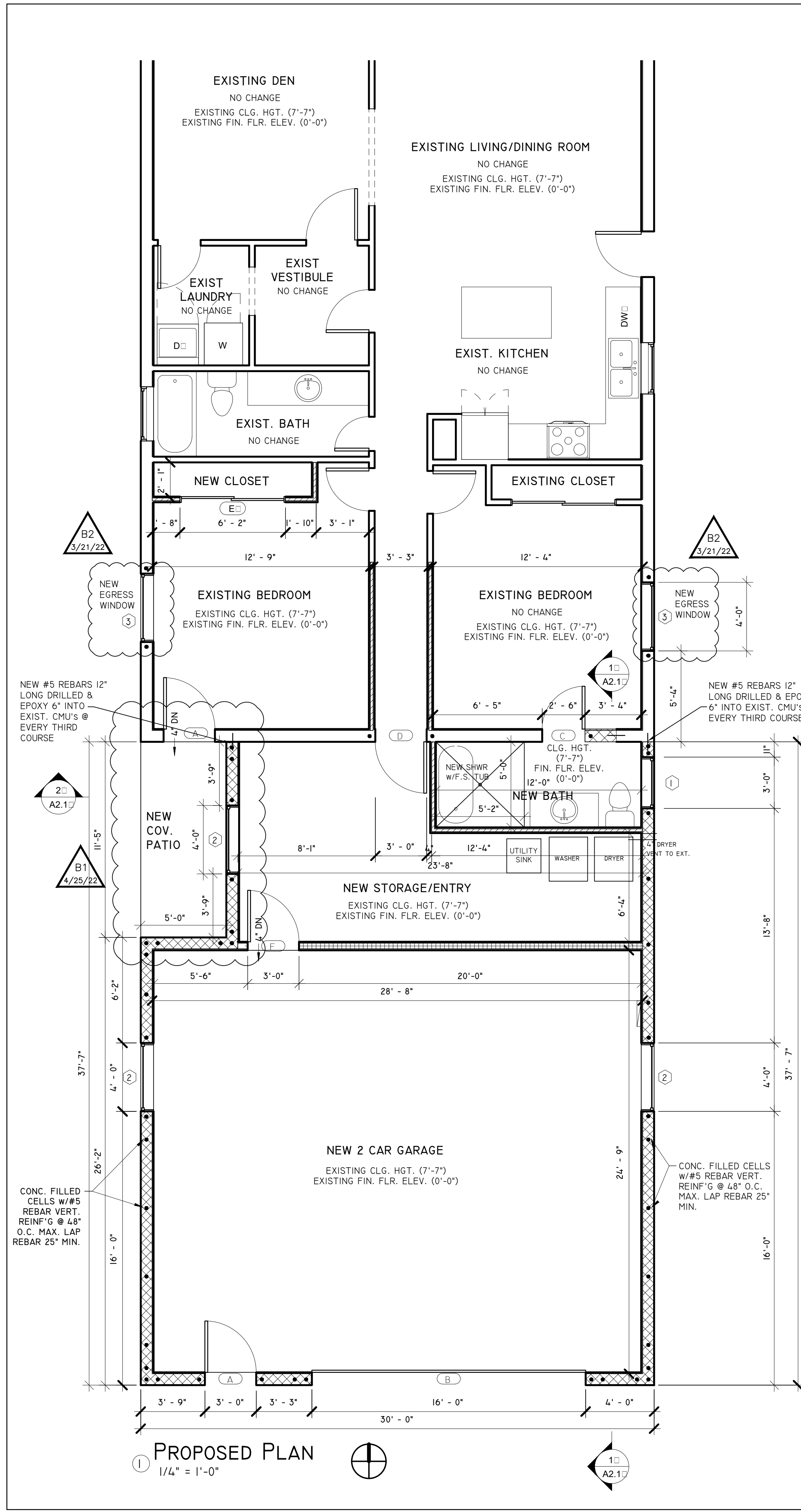
**COA #**

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department by emailing directly to Historic Preservationists Laura Duvekot ([Laura.Duvekot@stpete.org](mailto:Laura.Duvekot@stpete.org)) or Kelly Perkins ([Kelly.Perkins@stpete.org](mailto:Kelly.Perkins@stpete.org)).

## PROPOSED SCOPE OF WORK

Please provide a detailed description of the proposed work, organized according to the COA Matrix. Include information such as materials, location, square footage, etc. as applicable. Attach supplementary material as needed.

Building or Site Feature	Photo No.	Proposed Work
Single Family Residence		Construct New 2 Car Garage Addition With Laundry Room & New Bathroom In The Rear Of The Property



1 PROPOSED PLAN  
1/4" = 1'-0"

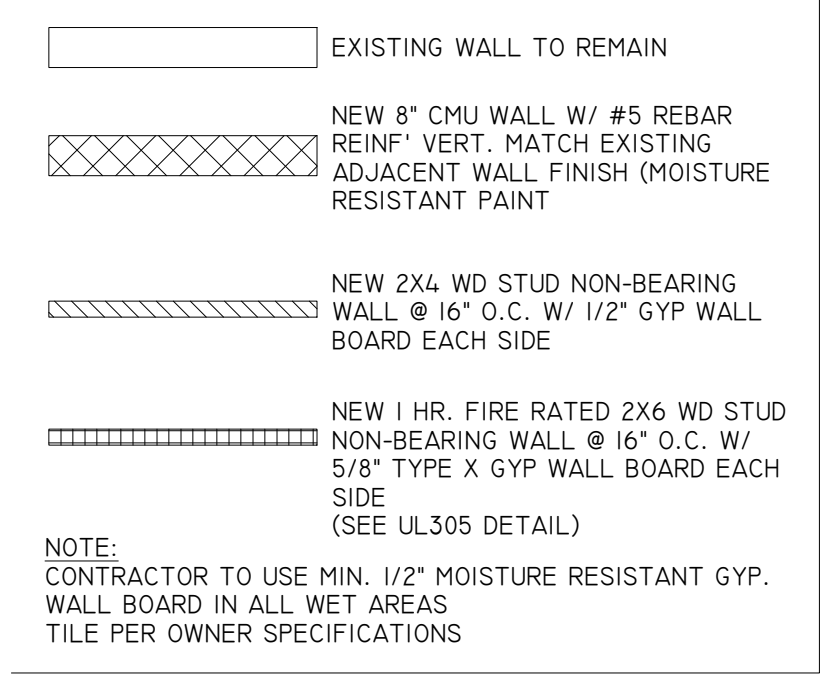
DOOR SCHEDULE						
MARK	WIDTH	HEIGHT	MANUFACTURER	DESCRIPTION	COMMENTS	FL N.O.A.
A	3' - 0"	6' - 8"	JELD-WEN	EXTERIOR WD. FRAME SWING DOOR, IMPACT RESISTANT	MATCH EXISTING HARDWARE	#16674.3
B	16' - 0"	6' - 6"	-	OVERHEAD GARAGE DOOR, 14.5 MPH - 3 SEC GUST	MATCH EXISTING HARDWARE	-
C	2' - 6"	6' - 8"	-	INTERIOR WD. FRAME H.C. SWING DOOR	MATCH EXISTING HARDWARE	-
D	3' - 0"	6' - 8"	-	INTERIOR WD. FRAME, 20 MIN FR SOLID CORE DOOR	MATCH EXISTING HARDWARE	-
E	6' - 0"	6' - 8"	-	INTERIOR WD. FRAME 2 PANEL SLIDING CLOSET DOORS	MATCH EXISTING HARDWARE	-
F	3' - 0"	6' - 8"	-	INTERIOR WD. FRAME, 20 MIN FR SOLID CORE DOOR	MATCH EXISTING HARDWARE	-

NOTES  
 - OTHER WINDOW & DOOR MANUFACTURERS TO BE EQUAL OR BETTER THAN STATED  
 - ALL EXTERIOR DOORS SHALL HAVE A THRESHOLD WITH A HEIGHT OF NO GREATER THAN 4" DIFFERENCE BETWEEN INT. & EXT. FINISH MATERIALS  
 - ALL INTERIOR DOOR WITH A CHANGE IN FLOOR MATERIALS SHALL HAVE A THRESHOLD.  
 - DO NOT FABRICATE ANY DOORS WITHOUT PROVIDING SHOP DRAWINGS BASED ON IN-FIELD DIMENSION VERIFICATION.  
 - CONTRACTOR TO VERIFY ALL DOOR ROUGH OPENINGS W/ DOOR MANUFACTURER

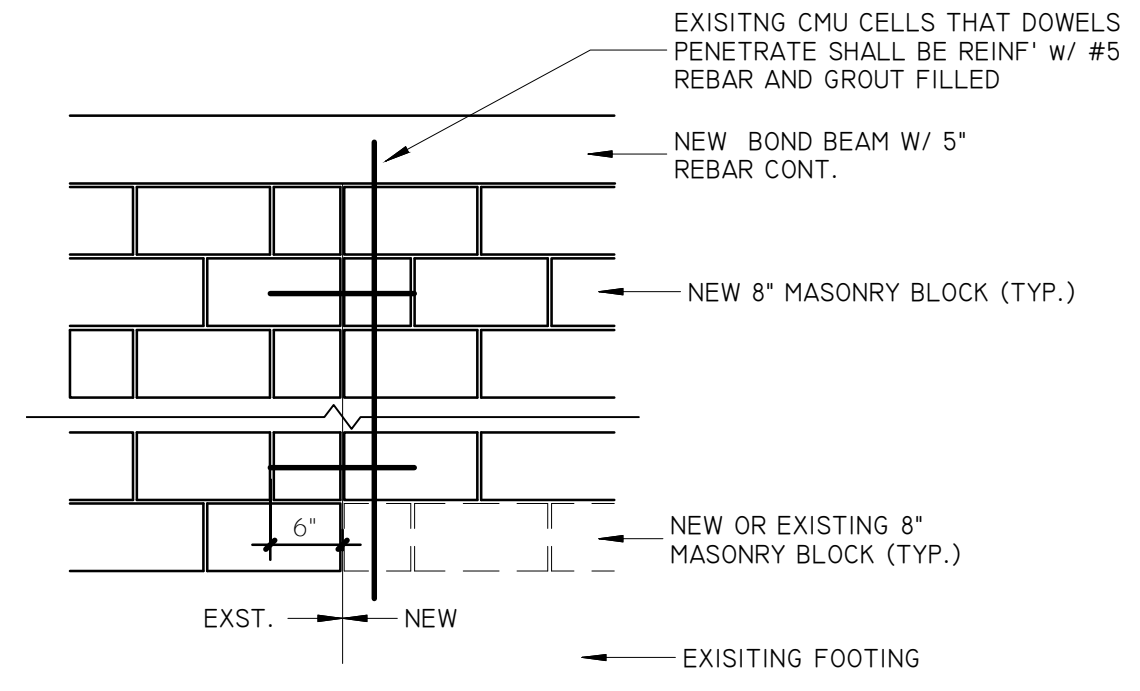
WINDOW SCHEDULE							
MARK	WIDTH	HEIGHT	LINTEL	MATERIAL	MANUFACTURER	TYPE	FL NOA
1	3' - 0"	3' - 0"	PRECAST CONC.	VINYL FRAME	P&T IND.	WINDOW-DOUBLE-HUNG	#14705.2
2	4' - 0"	3' - 0"	PRECAST CONC.	VINYL FRAME	P&T IND.	WINDOW-DOUBLE-HUNG	#14705.2
3	4' - 0"	4' - 0"	PRECAST CONC.	VINYL FRAME	P&T IND.	WINDOW-DOUBLE-HUNG	#14705.2

NOTES  
 - OTHER WINDOW & DOOR MANUFACTURERS TO BE EQUAL OR BETTER THAN STATED  
 - MIN. EGRESS REQUIREMENT: 24" HGT CLR X 20" WIDE CLR, MIN. 5 sqFT OPENING  
 - OPERABLE WINDOWS 72" ABOVE GRADE MUST HAVE MIN. 24" WINDOW SILL HEIGHT & MIN. 6.7 SF OPENING

WALL LEGEND

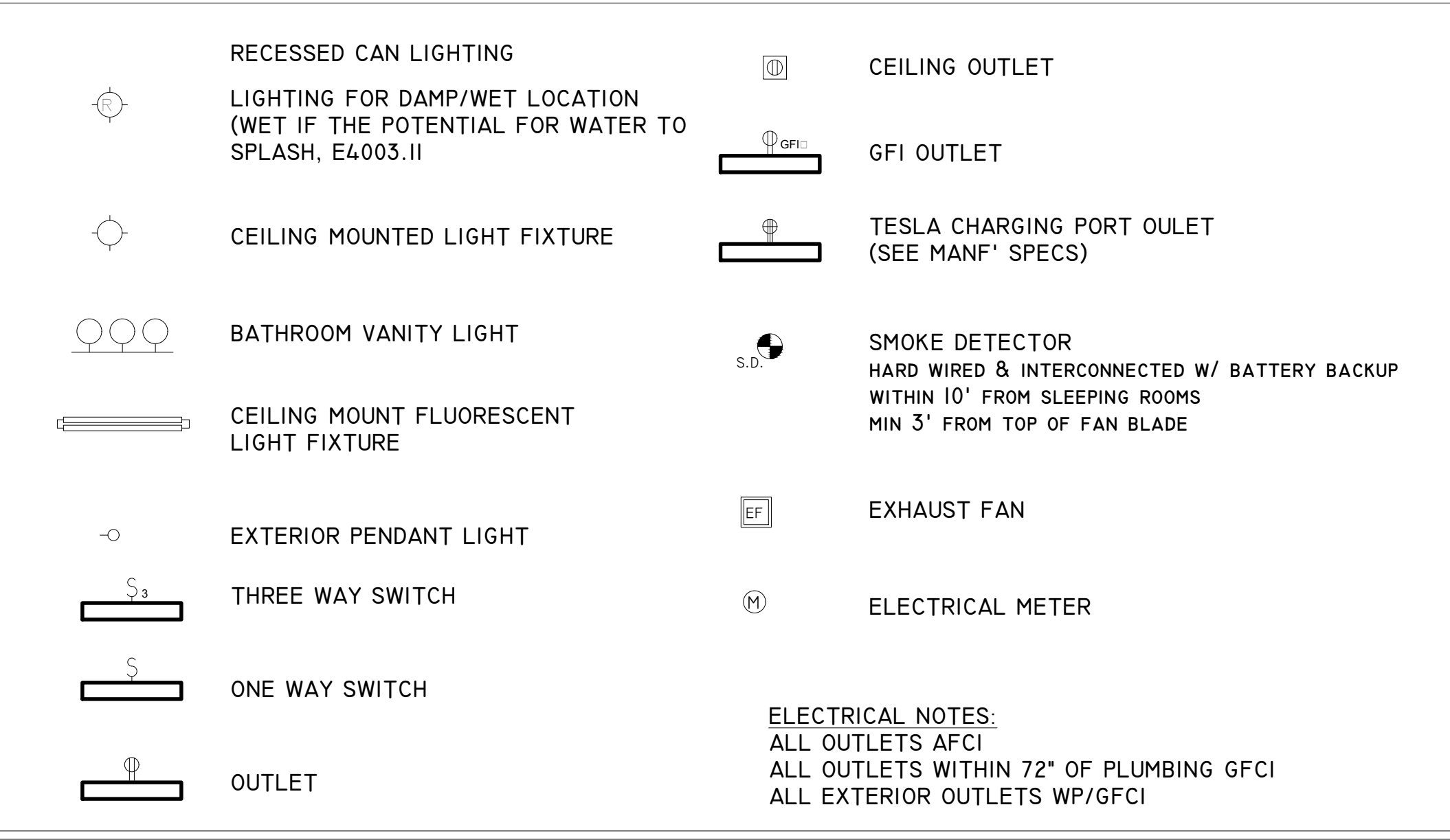


\*ALL MASONRY WALLS ARE SHEARWALLS



3 CMU INFILL DETAIL  
3/4" = 1'-0"

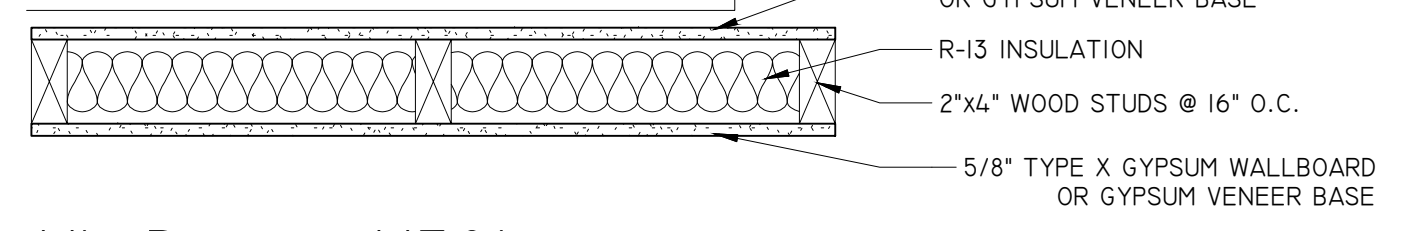
LIGHTING LEGEND



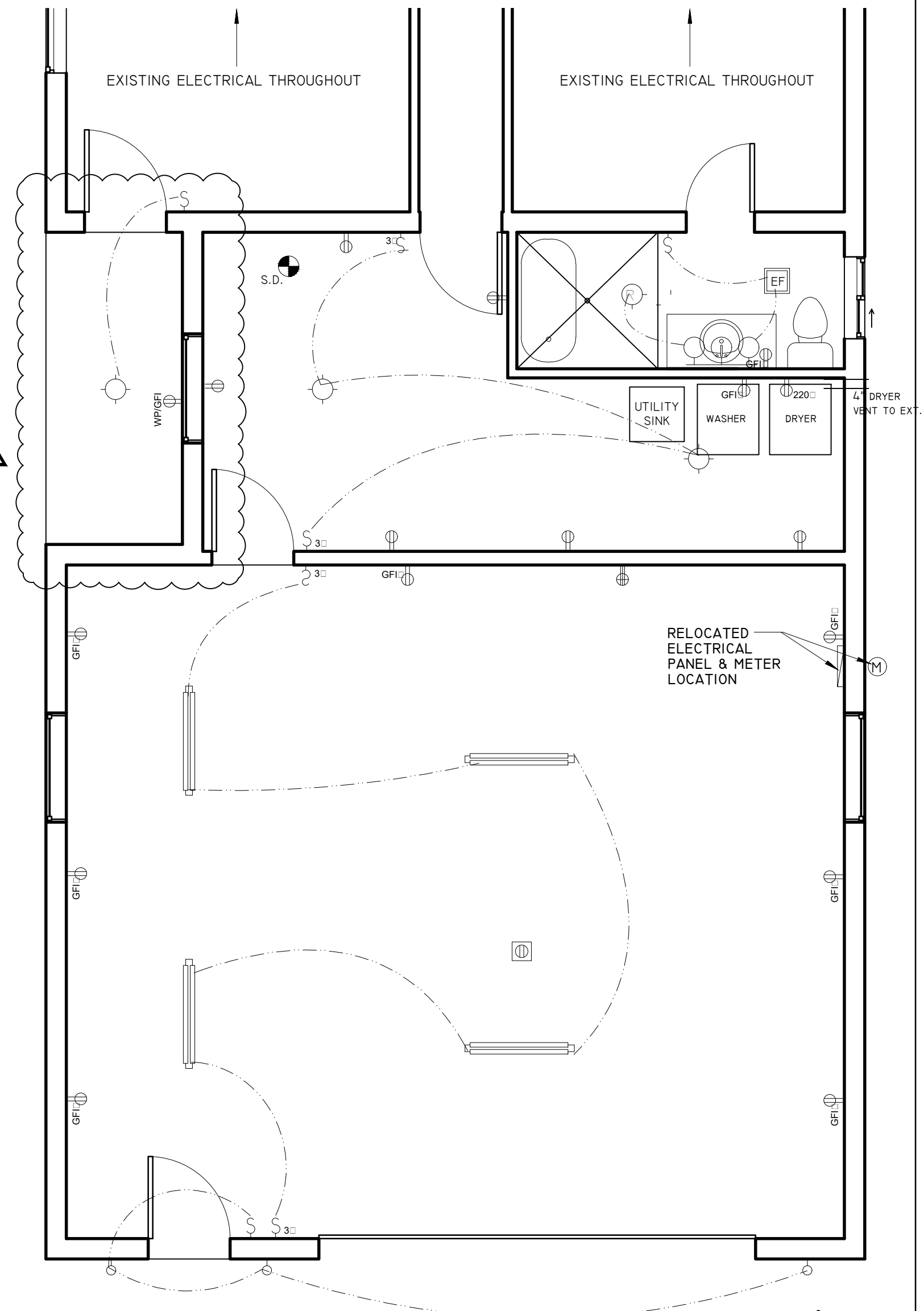
ELECTRICAL NOTES:  
 ALL OUTLETS AFCI  
 ALL OUTLETS WITHIN 72" OF PLUMBING GFCI  
 ALL EXTERIOR OUTLETS WP/GFCI

HVAC UNIT & MECHANICAL SYSTEM TO BE INSTALLED BY MECHANICAL CONTRACTOR AS PER MANF' SPECS.  
 PLUMBING TO BE SCH. 40 PVC & INSTALLED BY PLUMBING CONTRACTOR AS PER 2020 FBC.  
 NEW ELECTRICAL TO BE INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR PER 2017 NATIONAL ELECTRIC CODE

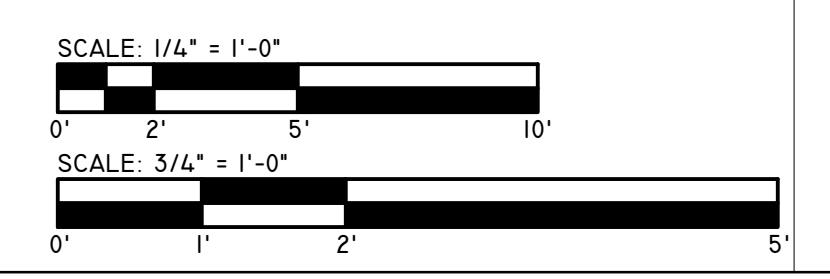
UL DESIGN U305  
 1 HR. FIRE RATED WALL CONSTRUCTION  
 STC: 36  
 TOTAL THICKNESS: 4 3/4"



4 UL DESIGN U301  
1 1/2" = 1'-0"

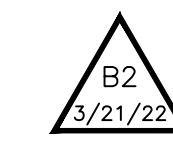


2 LIGHTING/POWER PLAN  
1/4" = 1'-0"



COMMISSION NO.:	21.2.1
DATE:	12/23/2021
DRAWN BY:	PHH
CHECKED BY:	PG
REVISIONS:	4/25/2022

PROPOSED PLAN



SIMPSON ALLOWABLE LOADS TABLE			
CODE	TYPE	UPLIFT	FL NOA
H2.5	HURRICANE CLIP	565	FL#10456.2
MTS12	TWIST STRAP TIE	775	FL#13872.14
MSTA30	STRAP TIE	2050	FL#13872.9

TRUSS UPLIFT NOT TO EXCEED 350 PSI

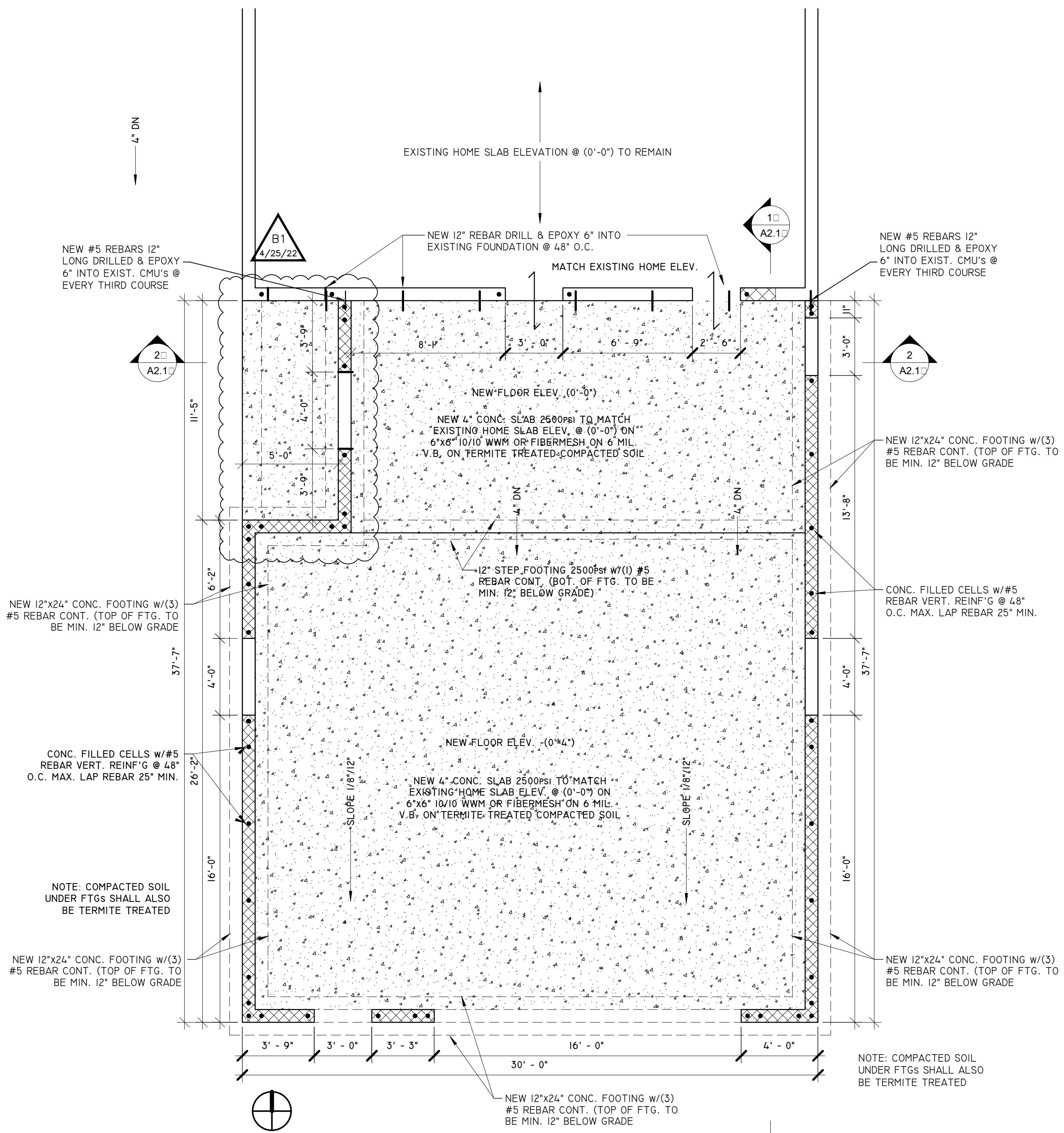
ENGINEERED ROOF TRUSS DRAWINGS AND DESIGN CALCULATIONS PROVIDED BY TRUSS MANUFACTURER CAN BE PROVIDED IN LIEU OF ARCHITECTS ROOF FRAMING PLAN.

NEW PRE-ENGINEERED WD ROOF TRUSSES @ 24" O.C. W/ 4:12 ROOF PITCH. UPLIFT CONNECTORS TO BE VERIFIED BY TRUSS FABRICATOR. UPLIFT NOT TO EXCEED 400LBS

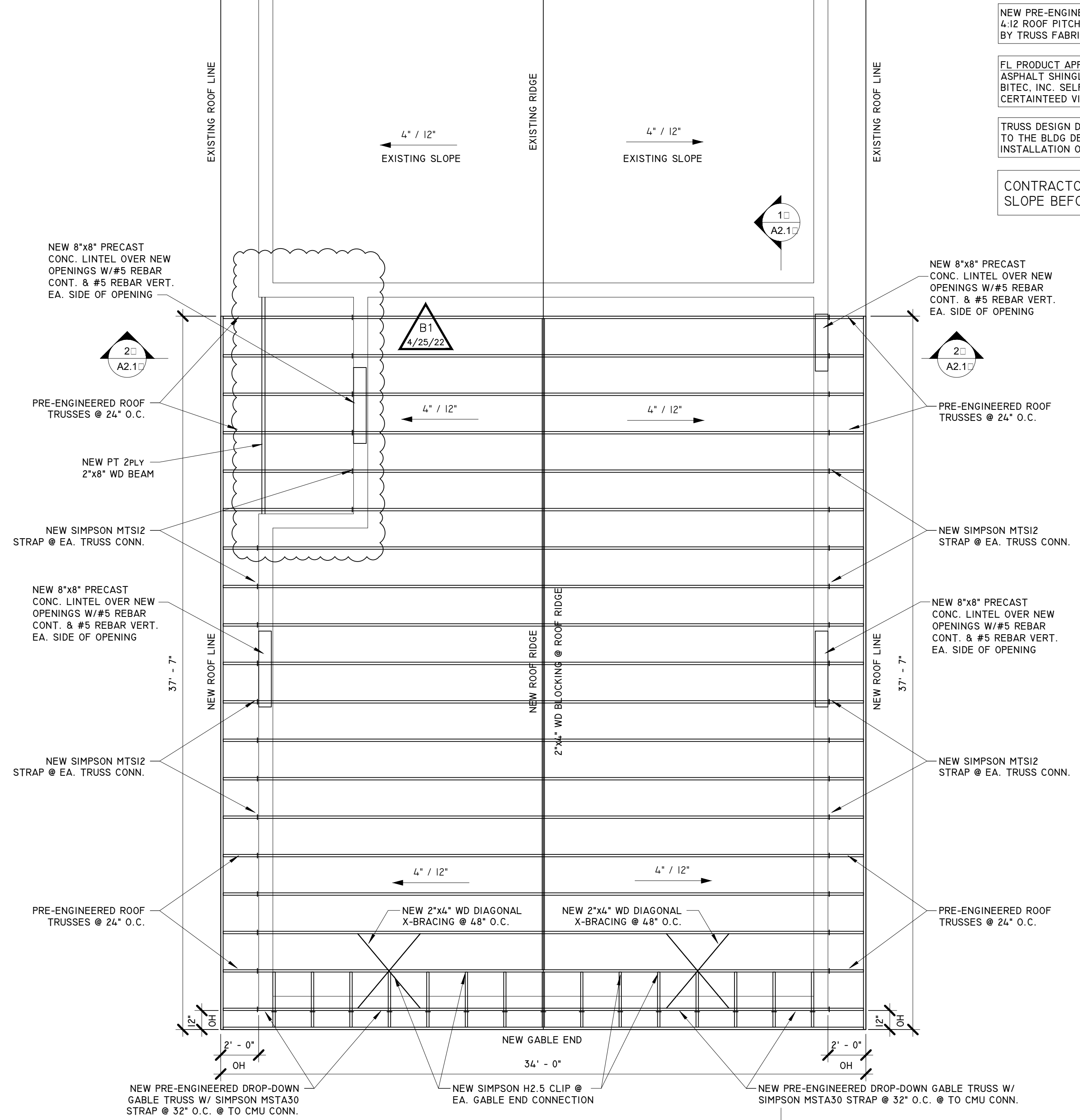
FL PRODUCT APPROVAL #:  
 ASPHALT SHINGLE ROOFING - FL#5444.1  
 BITEC, INC. SELF-ADHEARING UNDERLAYMENT - FL#5215.2  
 CERTAINTED VINYL SOFFIT - FL#13389.1

TRUSS DESIGN DRAWINGS SHALL BE PROVIDED PROVIDED TO THE BLDG DEPT FOR REVIEW PRIOR TO THE INSTALLATION OF TRUSSES

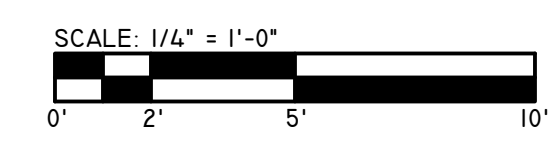
CONTRACTOR TO VERIFY ROOF SLOPE BEFORE TRUSS FABRICATION



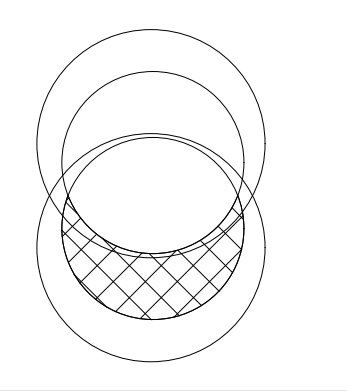
① FOUNDATION PLAN  
1/4" = 1'-0"



② ROOF FRAMING PLAN  
1/4" = 1'-0"



PETER GOLDHAMMER ARCHITECT

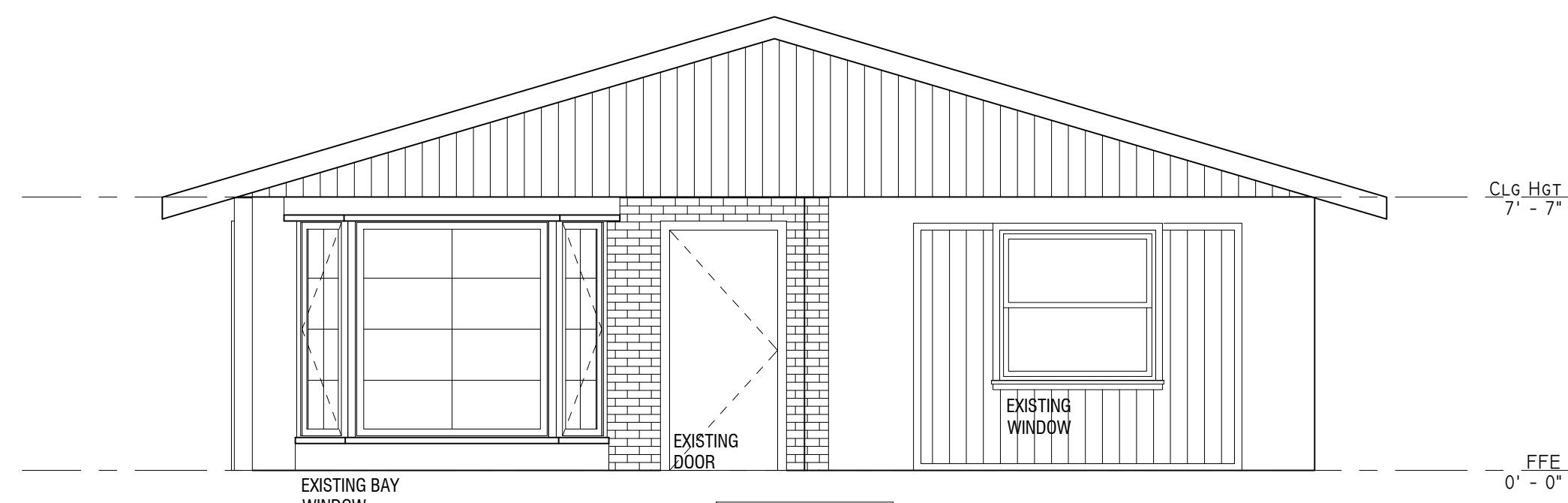


3328 7th Ave N.  
St. Petersburg, FL 33713

FL LICENSE: AR-0006567  
146 2nd ST. N. STE. 301, ST. PETERSBURG, FLORIDA 33701 TEL# 727 798 5695

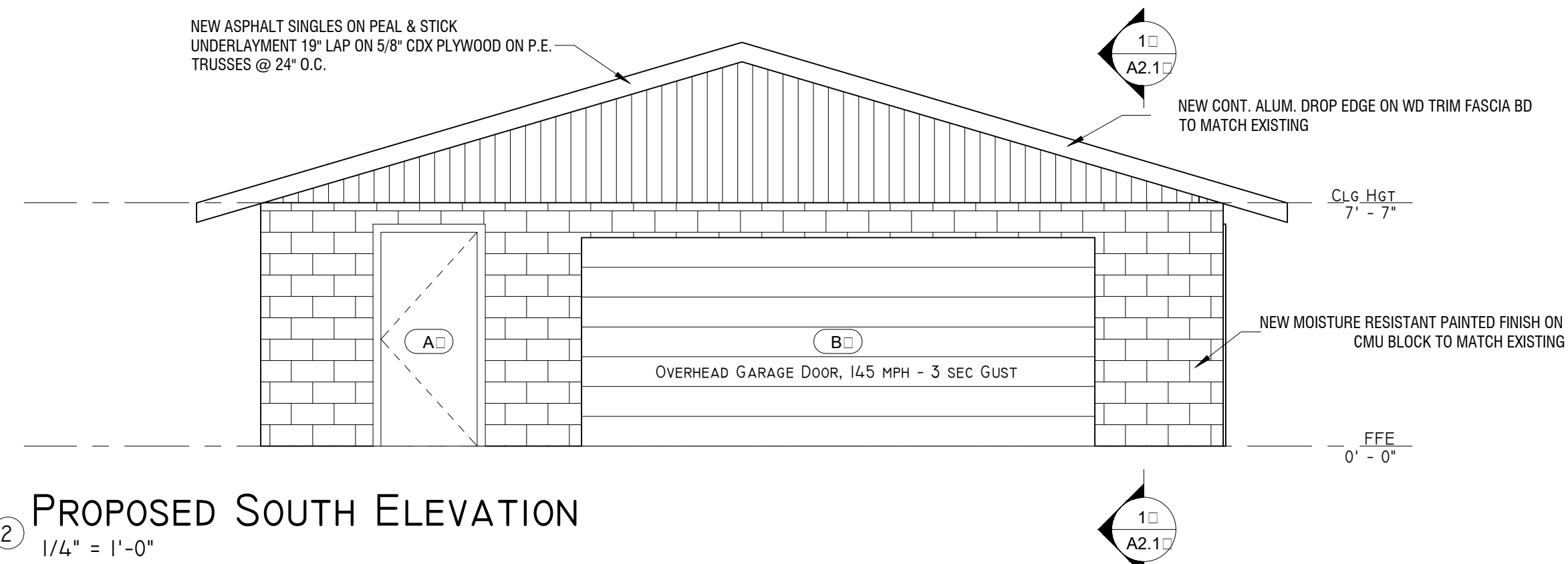
COMMISSION NO.:	21.2.1
DATE:	1/27/2020
DRAWN BY:	PHH
CHECKED BY:	PG
REVISIONS:	4/25/2022

FOUNDATION & ROOF FRAMING PLAN

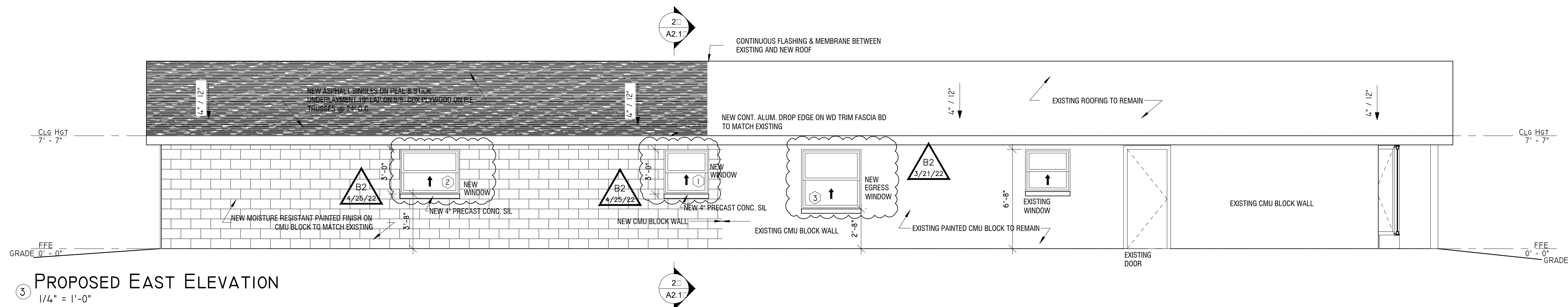


1 EXISTING NORTH ELEVATION  
1/4" = 1'-0"

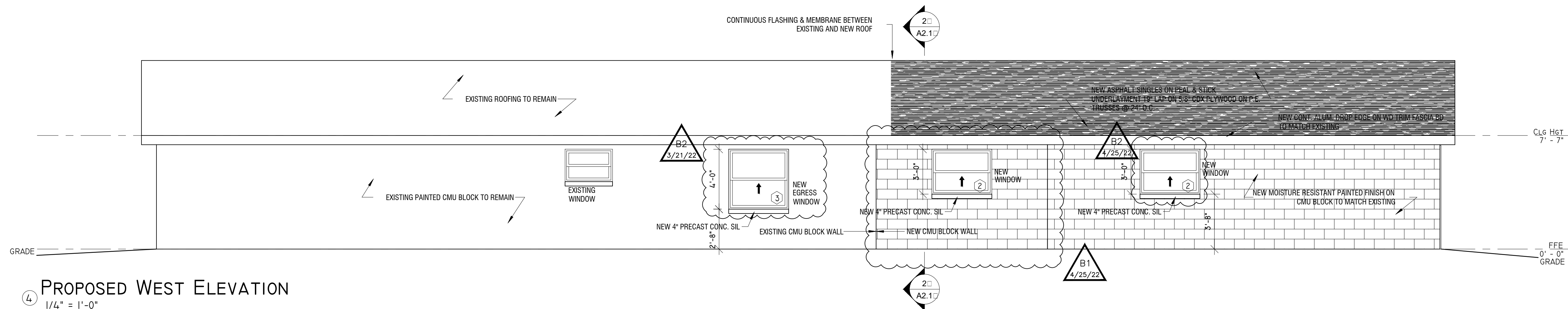
NO CHANGE



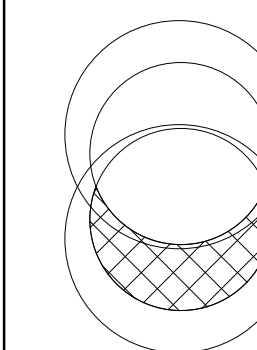
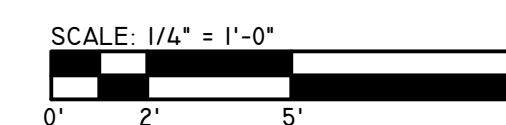
2 PROPOSED SOUTH ELEVATION  
1/4" = 1'-0"



3 PROPOSED EAST ELEVATION  
1/4" = 1'-0"



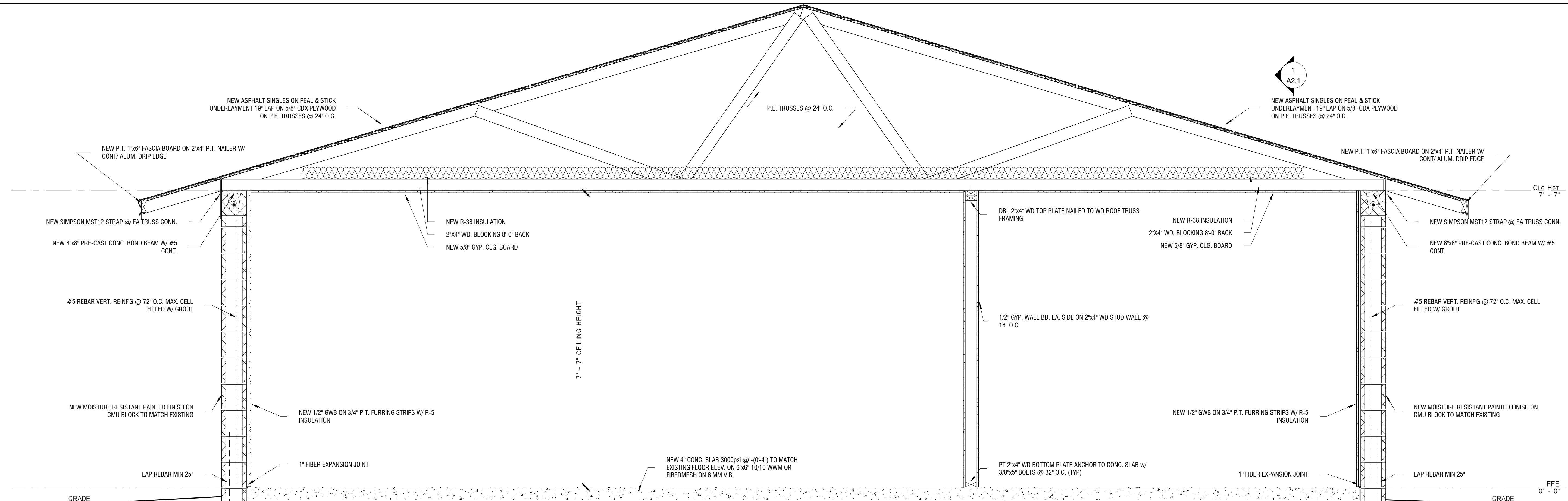
4 PROPOSED WEST ELEVATION  
1/4" = 1'-0"



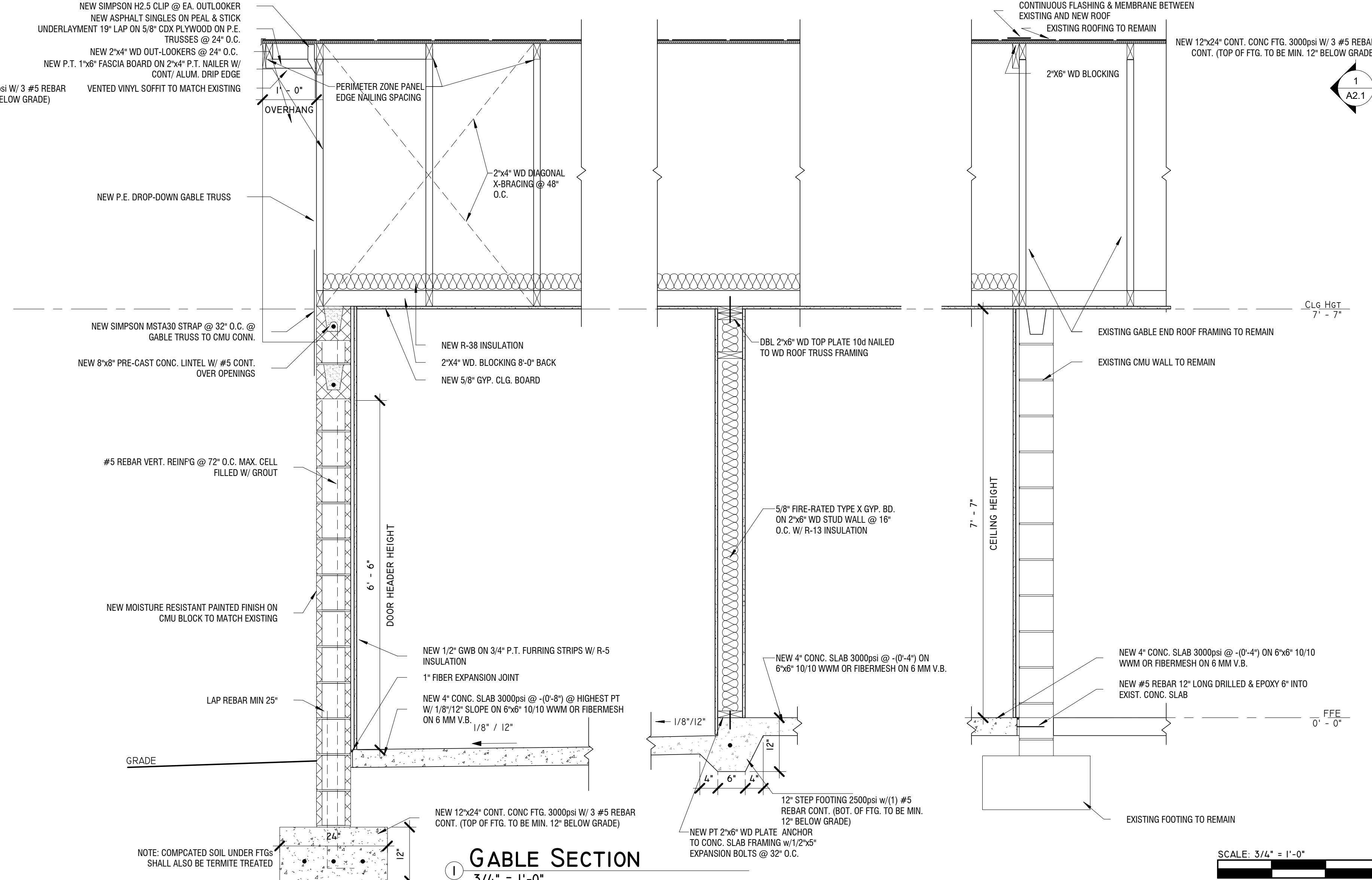
COMMISSION NO.:	21.2.1
DATE:	1/27/2021
DRAWN BY:	PHH
CHECKED BY:	PG
REVISIONS:	4/25/2022

ELEVATIONS

A2.0



**CROSS SECTION**  
3/4" = 1'-0"



**GABLE SECTION**  
3/4" = 1'-0"

**PETER GOLDHAMMER**  
ARCHITECT

FL. LICENSE: AR-0006567  
146 2nd ST. N. STE. 301, ST. PETERSBURG, FLORIDA 33701 TEL# 727 798 5695

3328 7th Ave N.  
St. Petersburg, FL 33713

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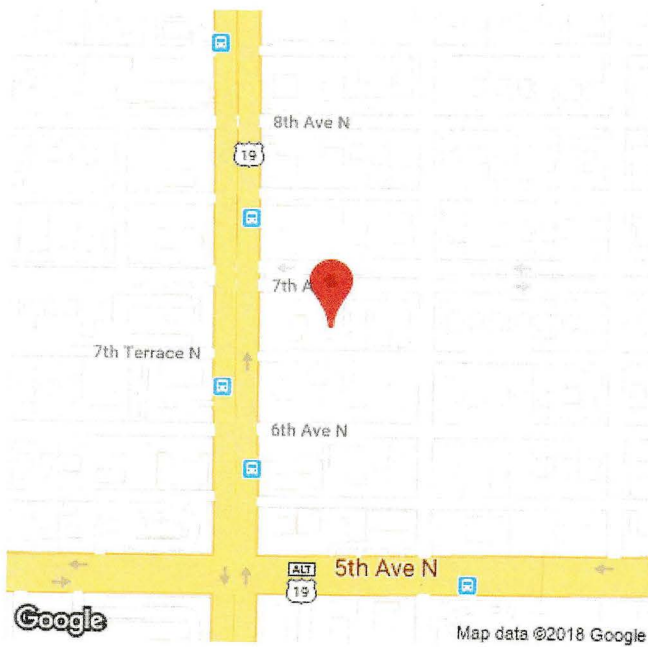
SECTIONS

A2.1



6250 NORTH MILITARY TRAIL, SUITE 102, WEST PALM BEACH, FL 33407 - (800) 226-4807  
WWW.TARGETSURVEYING.NET

**LAND SURVEY PREPARED FOR DAE-KUN KIM AND LAN KIM  
3328 7TH AVENUE NORTH, SAINT PETERSBURG, FL 33713**



REQUESTED BY:

STAR TITLE PARTNERS OF PALM HARBOR, LLC  
30522 US HIGHWAY 19 N SUITE 102  
PALM HARBOR, FL 34684  
PH. 727-216-8185



# LEGAL DESCRIPTION AND CERTIFICATION

Lot 4, Block 21, ADDITION TO KENWOOD SUBDIVISION, according to the Plat thereof, as recorded in Plat Book 6, Page 92, of the Public Records of PINELLAS County, Florida.

Community Number: 125148 Panel: 0218 Suffix: G Flood Zone: X Field Work: 8/7/2018

Certified To:

DAE-KUN KIM AND LAN KIM; STAR TITLE PARTNERS OF PALM HARBOR, LLC; OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY; FREEDOM MORTGAGE CORPORATION, its successors and/or assigns.

Property Address:

3328 7TH AVENUE NORTH  
SAINT PETERSBURG, FL 33713



Survey Number: 337640

Client File Number: PH18496

## ABBREVIATION DESCRIPTION:

A.E.	ANCHOR EASEMENT	F.F. EL.	FINISH FLOOR ELEVATION	O.R.B.	OFFICIAL RECORDS BOOK
A/C	AIR CONDITIONER	F.I.P.	FOUND IRON PIPE	(P)	PLAT
B.M.	BENCH MARK	F.I.R.	FOUND IRON ROD	P.B.	PLAT BOOK
B.R.	BEARING REFERENCE	F.P.K.	FOUND PARKER-KALON NAIL	P.C.	POINT OF CURVATURE
(C)	CALCULATED	(L)	LENGTH	P.C.C.	POINT OF COMPOUND CURVE
Δ	CENTRAL / DELTA ANGLE	L.A.E.	LIMITED ACCESS EASEMENT	P.O.B.	POINT OF BEGINNING
CH	CHORD	L.M.E.	LAKE MAINTENANCE EASEMENT	P.O.C.	POINT OF COMMENCEMENT
(D)	DEED / DESCRIPTION	(M)	MEASURED / FIELD VERIFIED	P.R.C.	POINT OF REVERSE CURVE
D.E.	DRAINAGE EASEMENT	M.H.	MANHOLE	P.T.	POINT OF TANGENCY
D.H.	DRILL HOLE	N&D	NAIL & DISK	R/W	RIGHT-OF-WAY
D/W	DRIVEWAY	N.R.	NOT RADIAL	(R)	RADIAL / RADIUS
E.O.W.	EDGE OF WATER	N.T.S.	NOT TO SCALE	S.I.R.	SET IRON ROD
F.C.M.	FOUND CONCRETE MONUMENT	O.H.L.	OVERHEAD UTILITY LINES	T.O.B.	TOP OF BANK
				U.E.	UTILITY EASEMENT

## SYMBOL DESCRIPTIONS:

	= CATCH BASIN		= MISC. FENCE
	= CENTERLINE ROAD		= PROPERTY CORNER
	= COVERED AREA		= UTILITY BOX
+ x.XX	= EXISTING ELEVATION		= UTILITY POLE
	= HYDRANT		= WATER METER
	= MANHOLE		= WELL
	= METAL FENCE		= WOOD FENCE

PAGE 1 OF 2 PAGES  
(NOT COMPLETE WITHOUT PAGE 2)

## GENERAL NOTES:

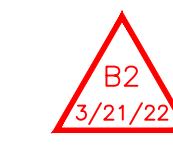
- 1) LEGAL DESCRIPTION PROVIDED BY OTHERS
- 2) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENTS OR OTHER RECORDED ENCUMBRANCES NOT SHOWN ON THE PLAT.
- 3) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.
- 4) WALL TIES ARE TO THE FACE OF THE WALL AND ARE NOT TO BE USED TO RECONSTRUCT BOUNDARY LINES.
- 5) ONLY VISIBLE ENCROACHMENTS LOCATED.
- 6) DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE SHOWN.
- 7) FENCE OWNERSHIP NOT DETERMINED.
- 8) ELEVATIONS INDICATED HEREON ARE IN FEET AND DECIMALS REFERENCED TO N.G.V.D. 1929
- 9) IN SOME INSTANCES, GRAPHIC REPRESENTATIONS HAVE BEEN EXAGGERATED TO MORE CLEARLY ILLUSTRATE RELATIONSHIPS BETWEEN PHYSICAL IMPROVEMENTS AND/OR LOT LINES. IN ALL CASES, DIMENSIONS SHALL CONTROL THE LOCATION OF THE IMPROVEMENTS OVER SCALED POSITIONS.

 **TARGET**  
**SURVEYING, LLC**

LB #7893

**SERVING FLORIDA**

6250 N. MILITARY TRAIL, SUITE 102  
WEST PALM BEACH, FL 33407  
PHONE (561) 640-4800  
STATEWIDE PHONE (800) 226-4807  
STATEWIDE FACSIMILE (800) 741-0576  
WEBSITE: <http://targetsurveying.net>



SIMPSON ALLOWABLE LOADS TABLE			
CODE	TYPE	UPLIFT	FL NOA
H2.5	HURRICANE CLIP	565	FL#10456.2
MST52	TWIST STRAP TIE	775	FL#13872.14
MSTA30	STRAP TIE	2050	FL#13872.9

TRUSS UPLIFT NOT TO EXCEED 350 PSI

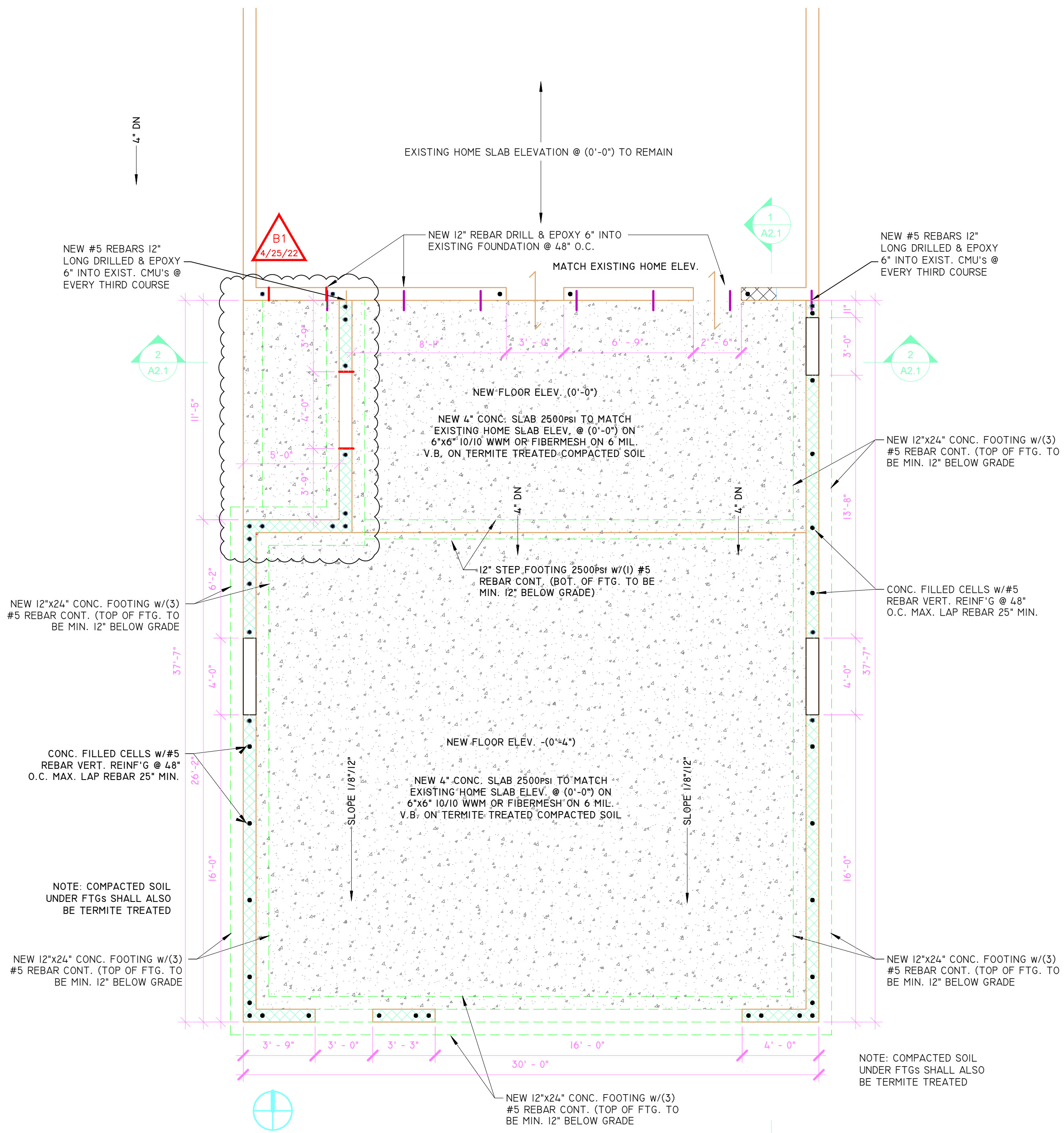
ENGINEERED ROOF TRUSS DRAWINGS AND DESIGN CALCULATIONS PROVIDED BY TRUSS MANUFACTURER CAN BE PROVIDED IN LIEU OF ARCHITECTS ROOF FRAMING PLAN.

NEW PRE-ENGINEERED WD ROOF TRUSSES @ 24" O.C. w/ 4:12 ROOF PITCH. UPLIFT CONNECTORS TO BE VERIFIED BY TRUSS FABRICATOR. UPLIFT NOT TO EXCEED 400LBS

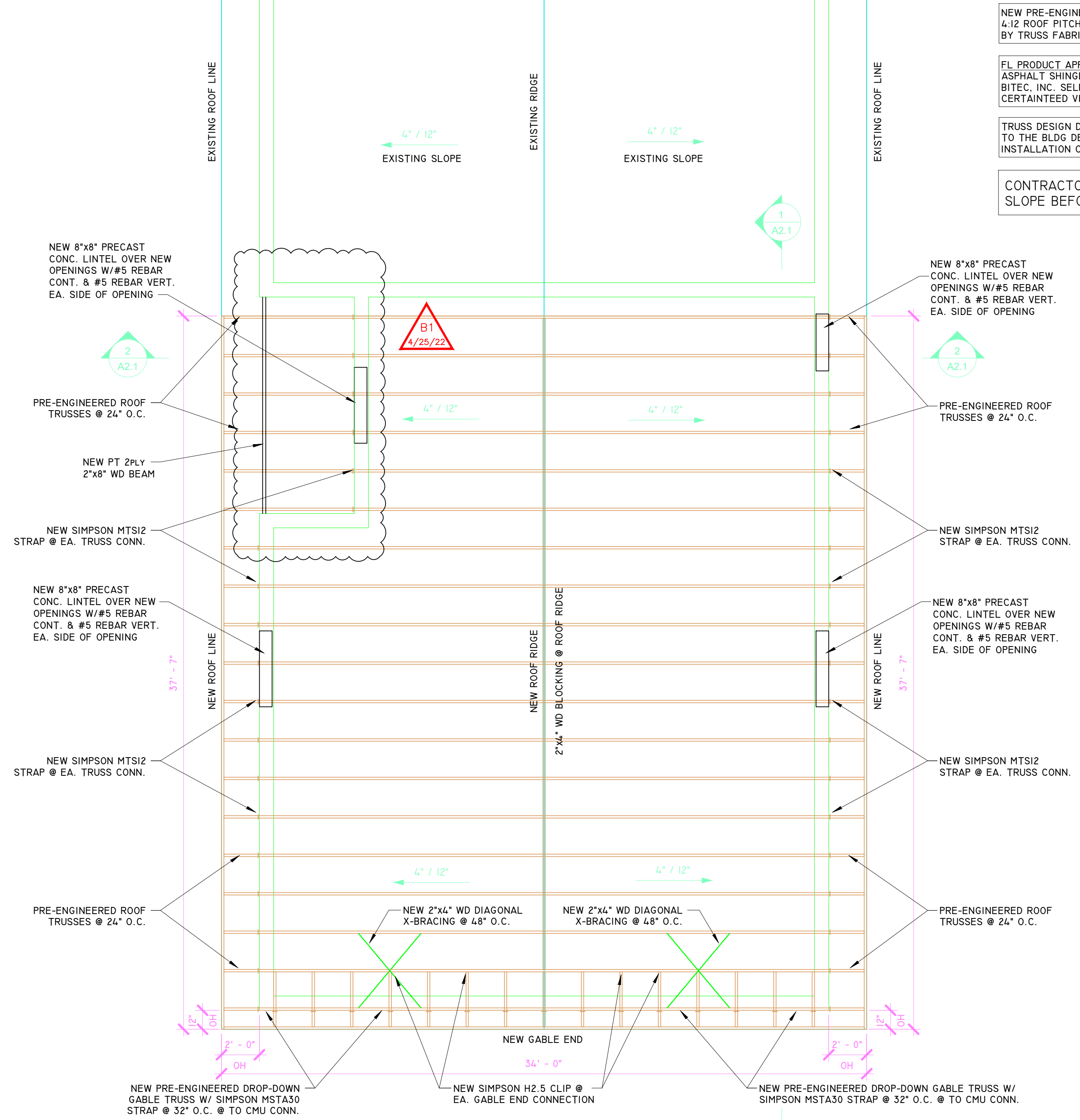
FL PRODUCT APPROVAL #:  
ASPHALT SHINGLE ROOFING - FL#5444.1  
BITEC, INC. SELF-ADHEARING UNDERLAYMENT - FL#5215.2  
CERTAINTED VINYL SOFFIT - FL#13389.1

TRUSS DESIGN DRAWINGS SHALL BE PROVIDED PROVIDED TO THE BLDG DEPT FOR REVIEW PRIOR TO THE INSTALLATION OF TRUSSES

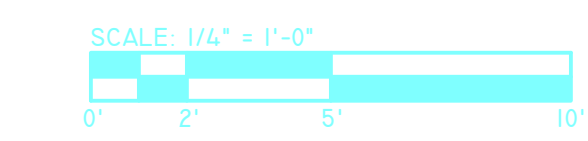
CONTRACTOR TO VERIFY ROOF SLOPE BEFORE TRUSS FABRICATION



① FOUNDATION PLAN  
1/4" = 1'-0"



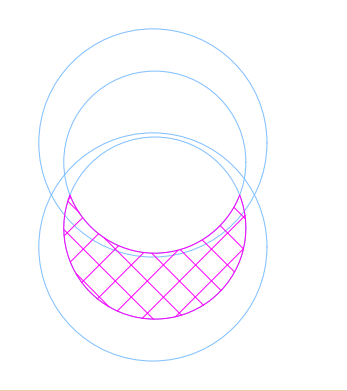
② ROOF FRAMING PLAN  
1/4" = 1'-0"



PETER GOLDHAMMER ARCHITECT

FL LICENSE: AR-0006567

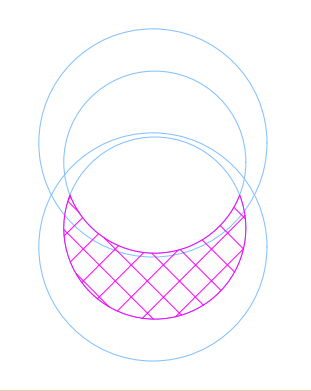
146 2nd ST. N. STE. 301, ST. PETERSBURG, FLORIDA 33701 TEL# 727 798 5695



3328 7th Ave N.  
St. Petersburg, FL 33713

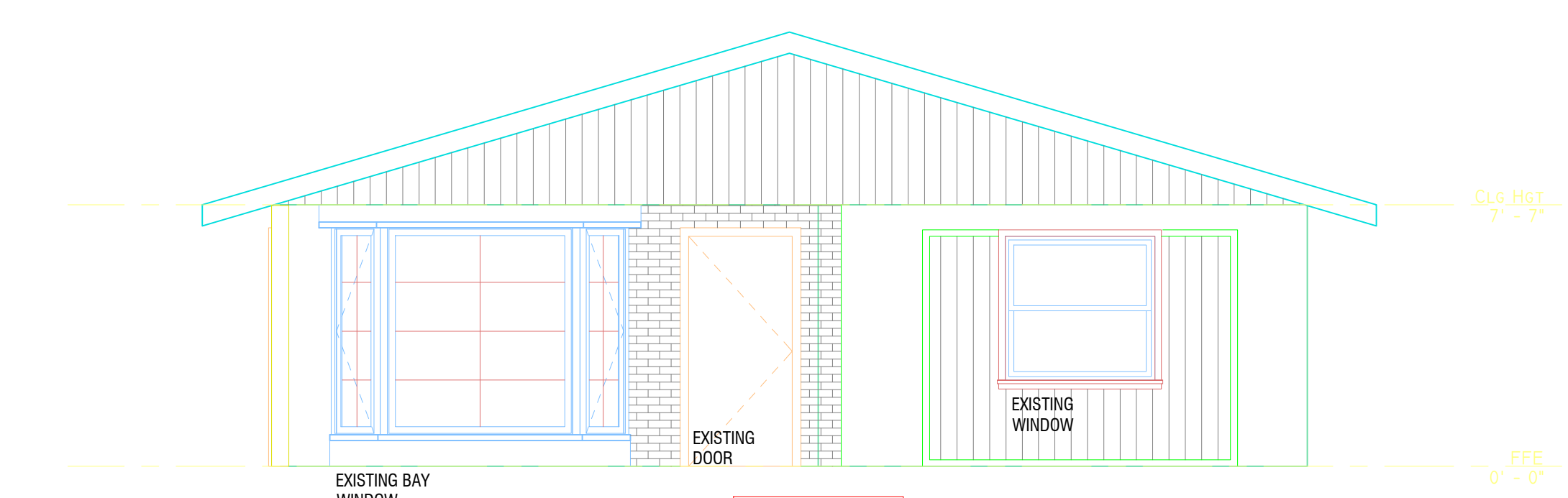
COMMISSION NO.:	21.21
DATE:	1/27/2021
DRAWN BY:	PHH
CHECKED BY:	PG
REVISIONS:	4/25/2022

FOUNDATION & ROOF FRAMING PLAN



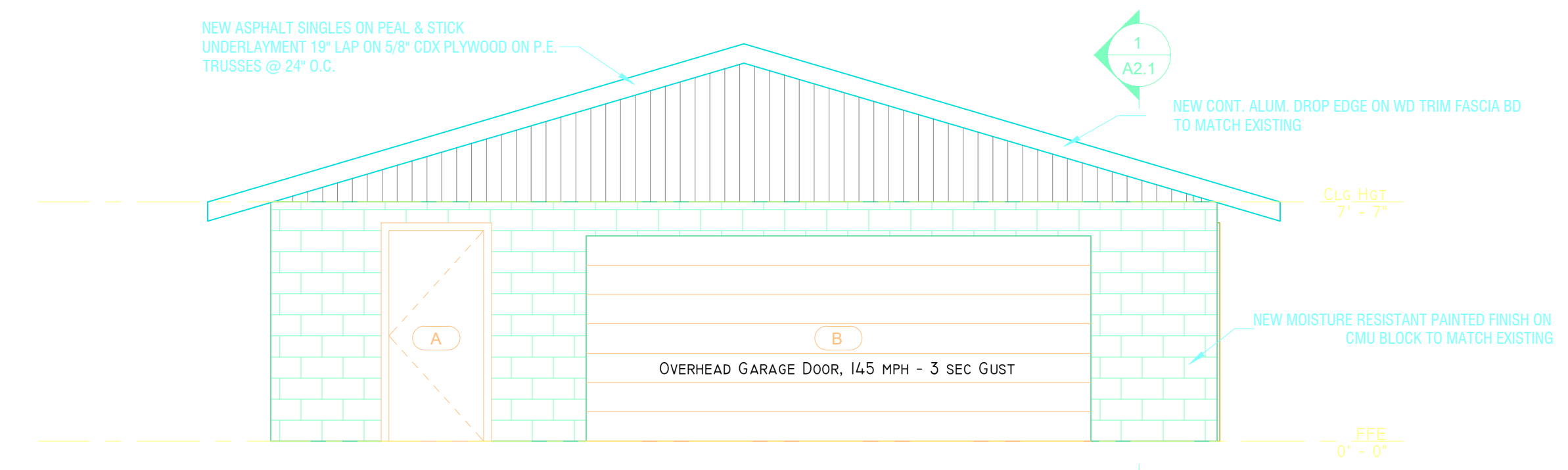
COMMISSION NO.	21.2.1
DATE	1/27/2021
DRAWN BY	PHH
CHECKED BY	PG
REVISIONS	4/25/2022

ELEVATIONS

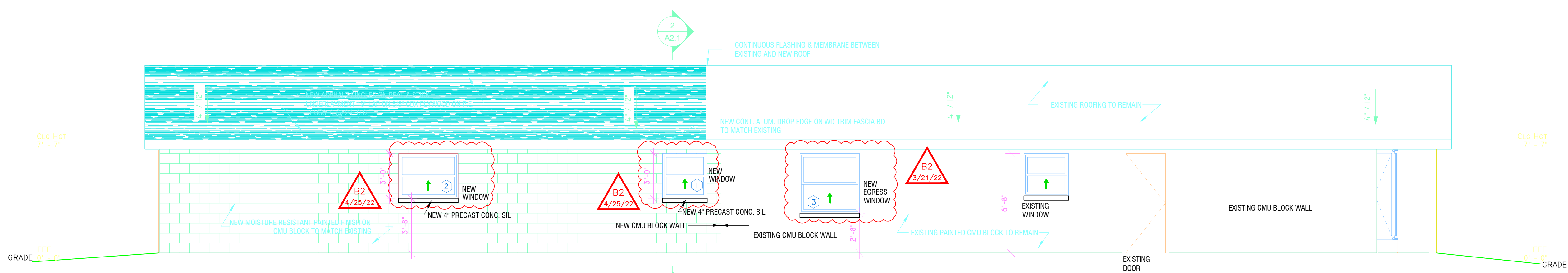


① EXISTING NORTH ELEVATION  
 1/4" = 1'-0"

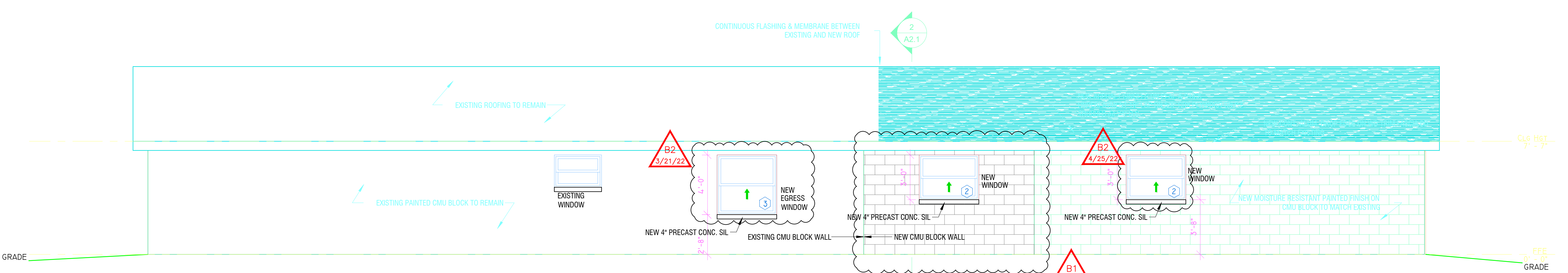
NO CHANGE



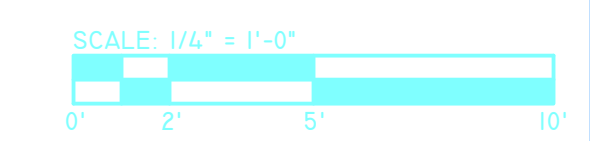
② PROPOSED SOUTH ELEVATION  
 1/4" = 1'-0"



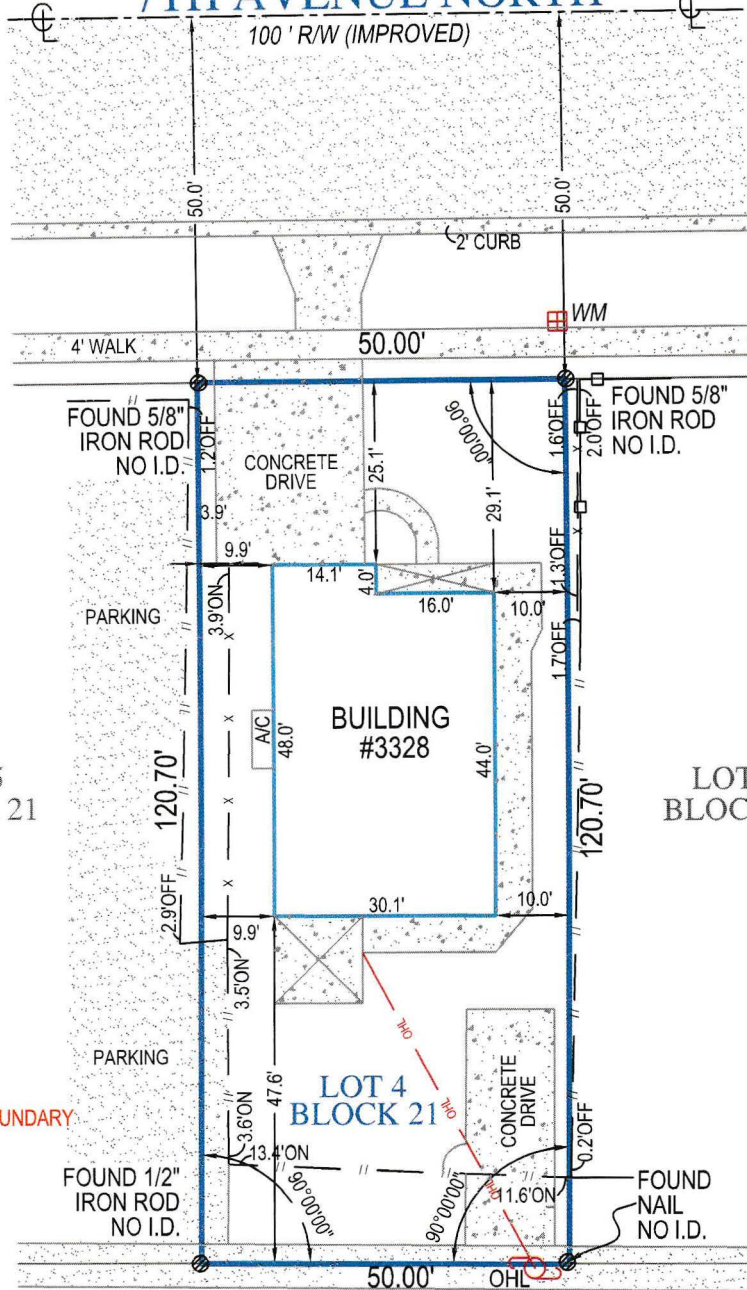
③ PROPOSED EAST ELEVATION  
 1/4" = 1'-0"



④ PROPOSED WEST ELEVATION  
 1/4" = 1'-0"



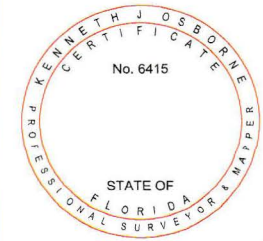
# BOUNDARY SURVEY 7TH AVENUE NORTH



SCALE  
1"=25'

**SURVEY NOTES**  
CONCRETE DRIVE CROSSING  
INTO R/W ON NORTHERLY AND  
SOUTHERLY SIDE OF LOT.

THERE ARE FENCES NEAR THE BOUNDARY  
OF THE PROPERTY.



**SURVEYORS CERTIFICATE**

I HEREBY CERTIFY THAT THIS BOUNDARY SURVEY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. NOT VALID WITHOUT AN AUTHENTICATED ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL, OR A RAISED EMBOSSED SEAL AND SIGNATURE.

*Kenneth Osborne*  
**Kenneth Osborne**

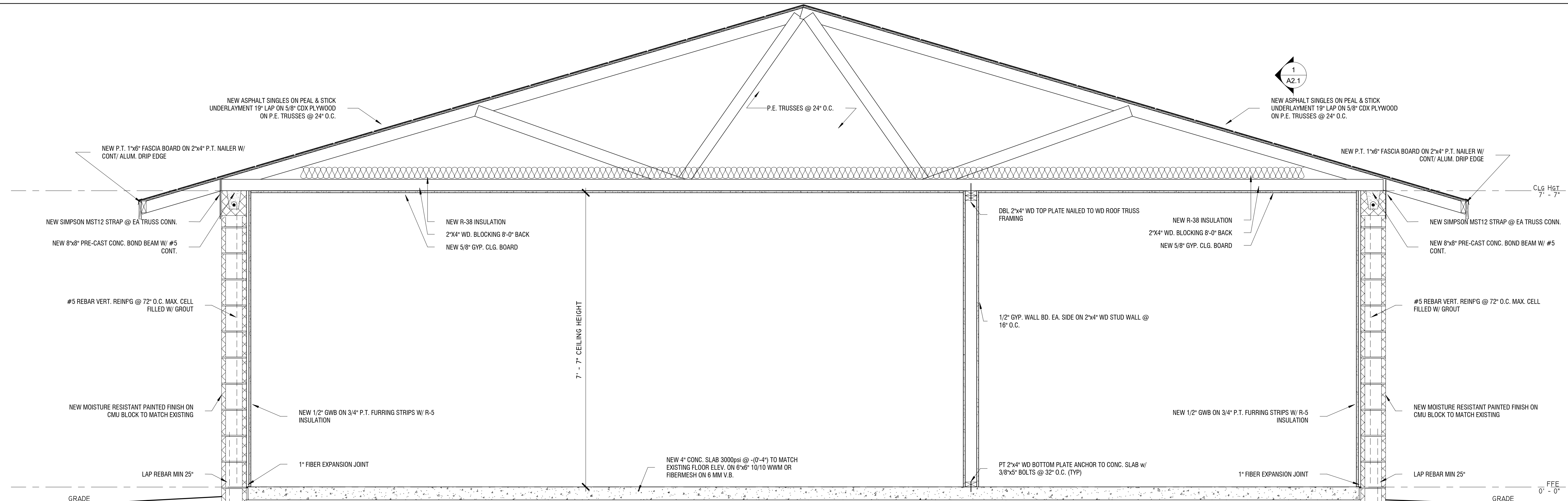
Digitally signed by  
Kenneth Osborne  
Date: 2018.08.08  
16:24:09 -04'00'



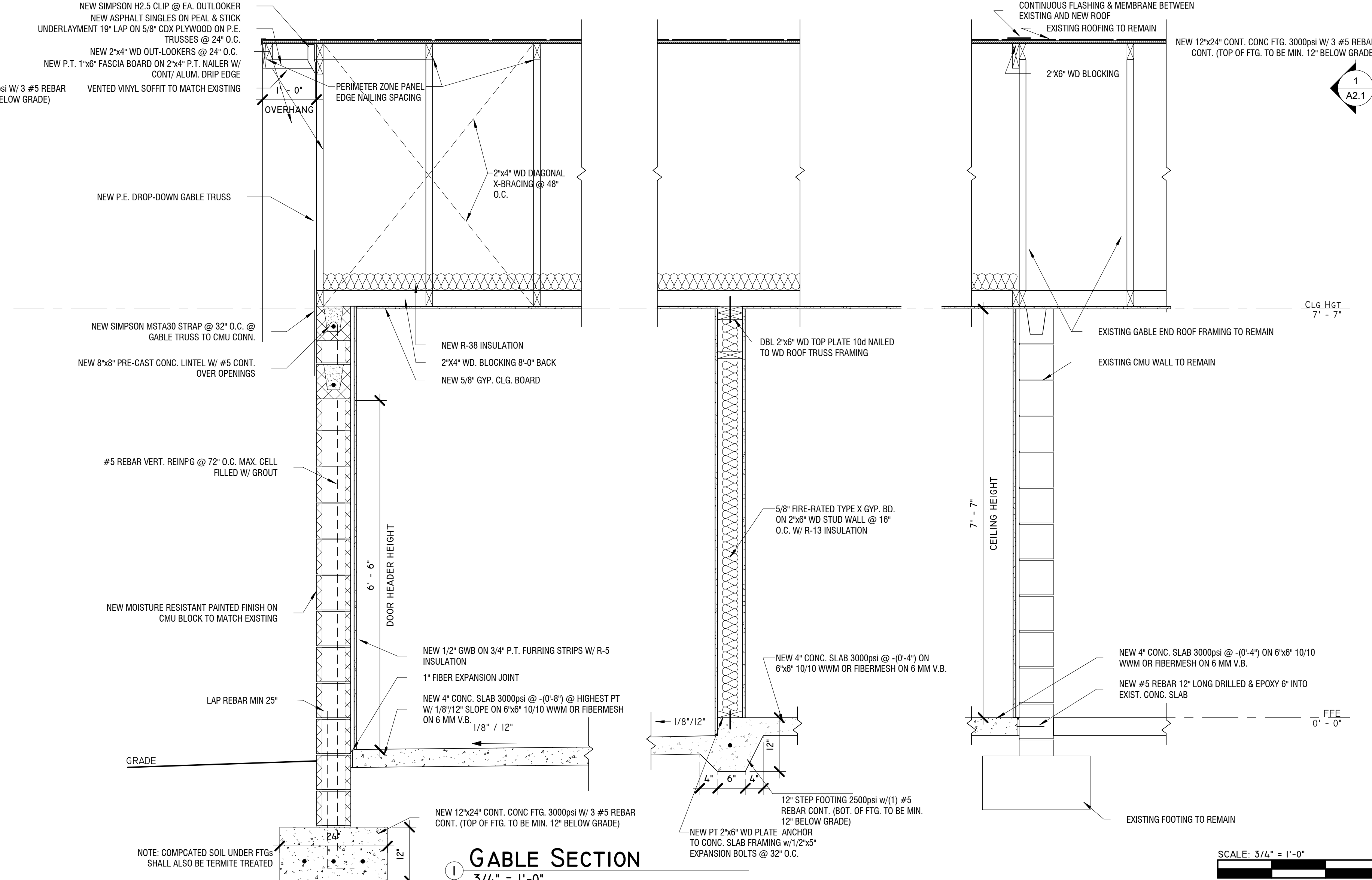
**TARGET  
SURVEYING, LLC**  
LB #7893  
SERVING FLORIDA  
6250 N. MILITARY TRAIL, SUITE 102  
WEST PALM BEACH, FL 33407  
PHONE (561) 640-4800  
STATEWIDE PHONE (800) 226-4807  
STATEWIDE FACSIMILE (800) 741-0576  
WEBSITE: <http://targetsurveying.net>

(SIGNED) **KENNETH J OSBORNE**  
PROFESSIONAL SURVEYOR AND MAPPER #6415





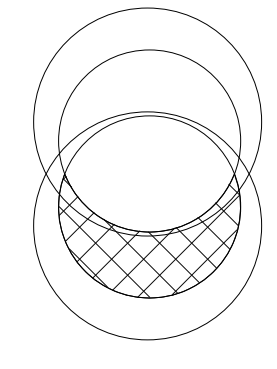
**CROSS SECTION**  
3/4" = 1'-0"



**GABLE SECTION**  
3/4" = 1'-0"

**PETER GOLDHAMMER**  
ARCHITECT

FL. LICENSE: AR-0006567  
146 2nd ST. N. STE. 301, ST. PETERSBURG, FLORIDA 33701 TEL# 727 798 5695



3328 7th Ave N.  
St. Petersburg, FL 33713

COMMISSION NO.:	21.2.1
DATE:	1/27/2021
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CHECKED BY:	PG

SECTIONS

A2.1

**PETER GOLDHAMMER  
ARCHITECT  
FLORIDA # 0006567  
146 2<sup>nd</sup> ST. N., ste. 301  
ST. PETERSBURG, FLORIDA 33701  
Tel. # 727 798 5695 Fax. # 727 258 0045**

Date: April 25, 2022

Attn: Building Official  
St. Petersburg Building Dept.

Ref address: 3328 7<sup>th</sup> Ave N  
St. Petersburg, FL

Permit #: 22-02000851

This letter will serve as an answer to the comments of the permit listed above:

**Historical Board Review**

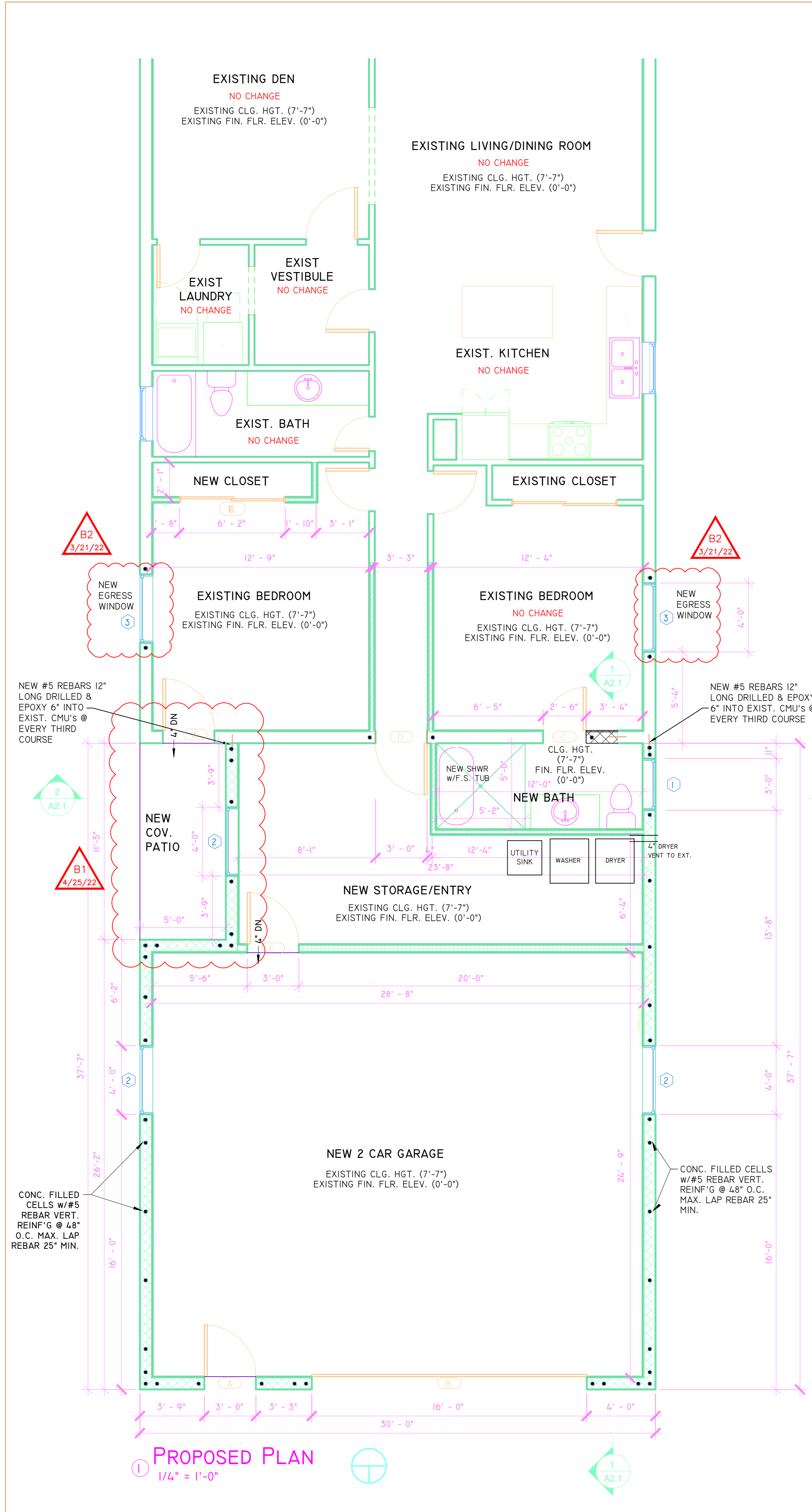
1. West side covered patio add to floor plans and elevations as shown on sheets 00, A1.0, A1.1, & A2.0. Revision B1.
2. New windows revised to match existing window style as shown on sheets A1.0 & A2.0, revision B2.

Submitted by,

Peter Goldhammer, Architect







DOOR SCHEDULE						
MARK	WIDTH	HEIGHT	MANUFACTURER	DESCRIPTION	COMMENTS	FL N.O.A.
A	3' - 0"	6' - 8"	JELD-WEN	EXTERIOR WD. FRAME SWING DOOR, IMPACT RESISTANT	MATCH EXISTING HARDWARE	#16674.3
B	16' - 0"	6' - 6"	-	OVERHEAD GARAGE DOOR, 14.5 MPH - 3 SEC GUST	MATCH EXISTING HARDWARE	-
C	2' - 6"	6' - 8"	-	INTERIOR WD. FRAME H.C. SWING DOOR	MATCH EXISTING HARDWARE	-
D	3' - 0"	6' - 8"	-	INTERIOR WD. FRAME, 20 MIN FR SOLID CORE DOOR	MATCH EXISTING HARDWARE	-
E	6' - 0"	6' - 8"	-	INTERIOR WD. FRAME 2 PANEL SLIDING CLOSET DOORS	MATCH EXISTING HARDWARE	-
F	3' - 0"	6' - 8"	-	INTERIOR WD. FRAME, 20 MIN FR SOLID CORE DOOR	MATCH EXISTING HARDWARE	-

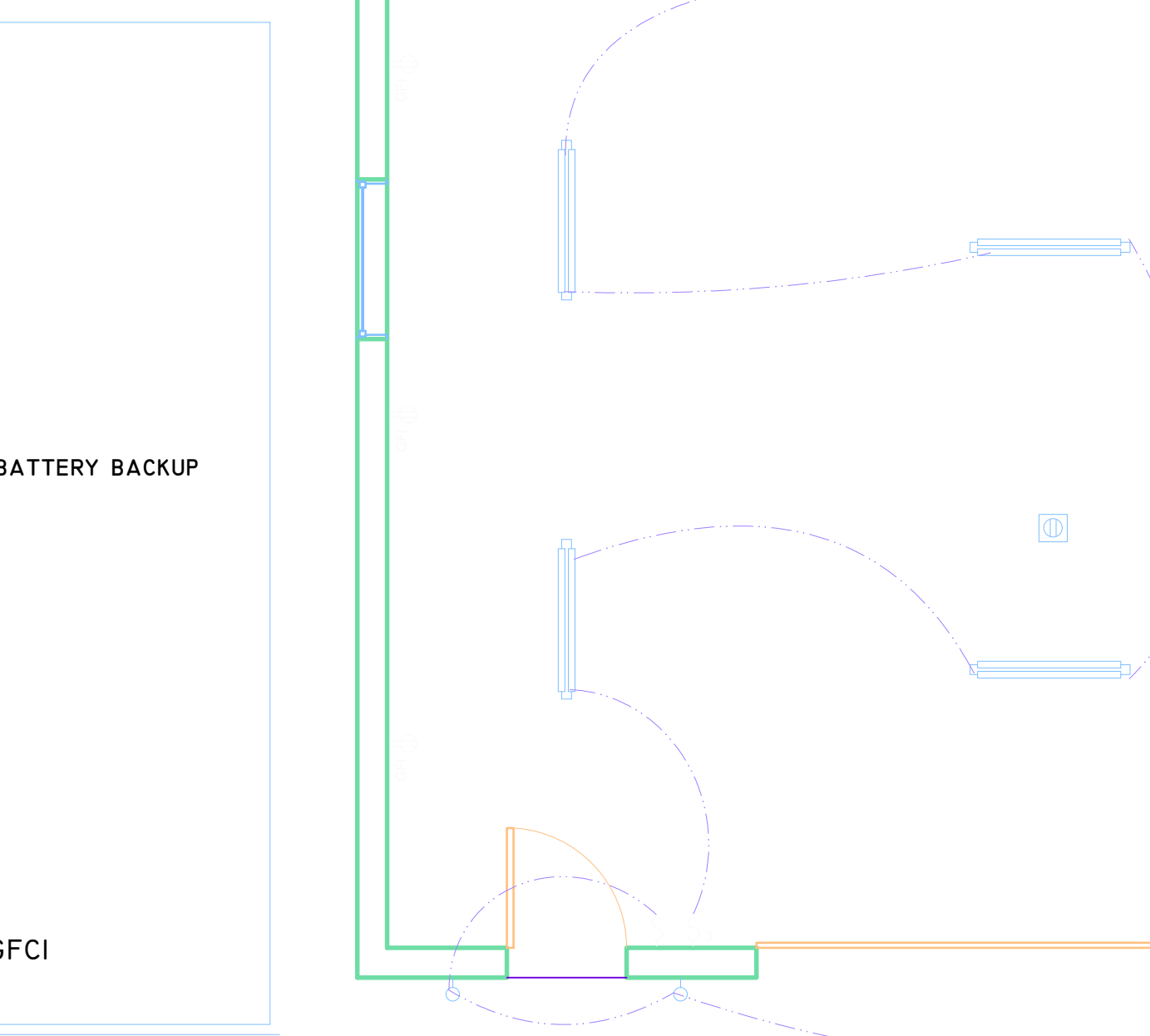
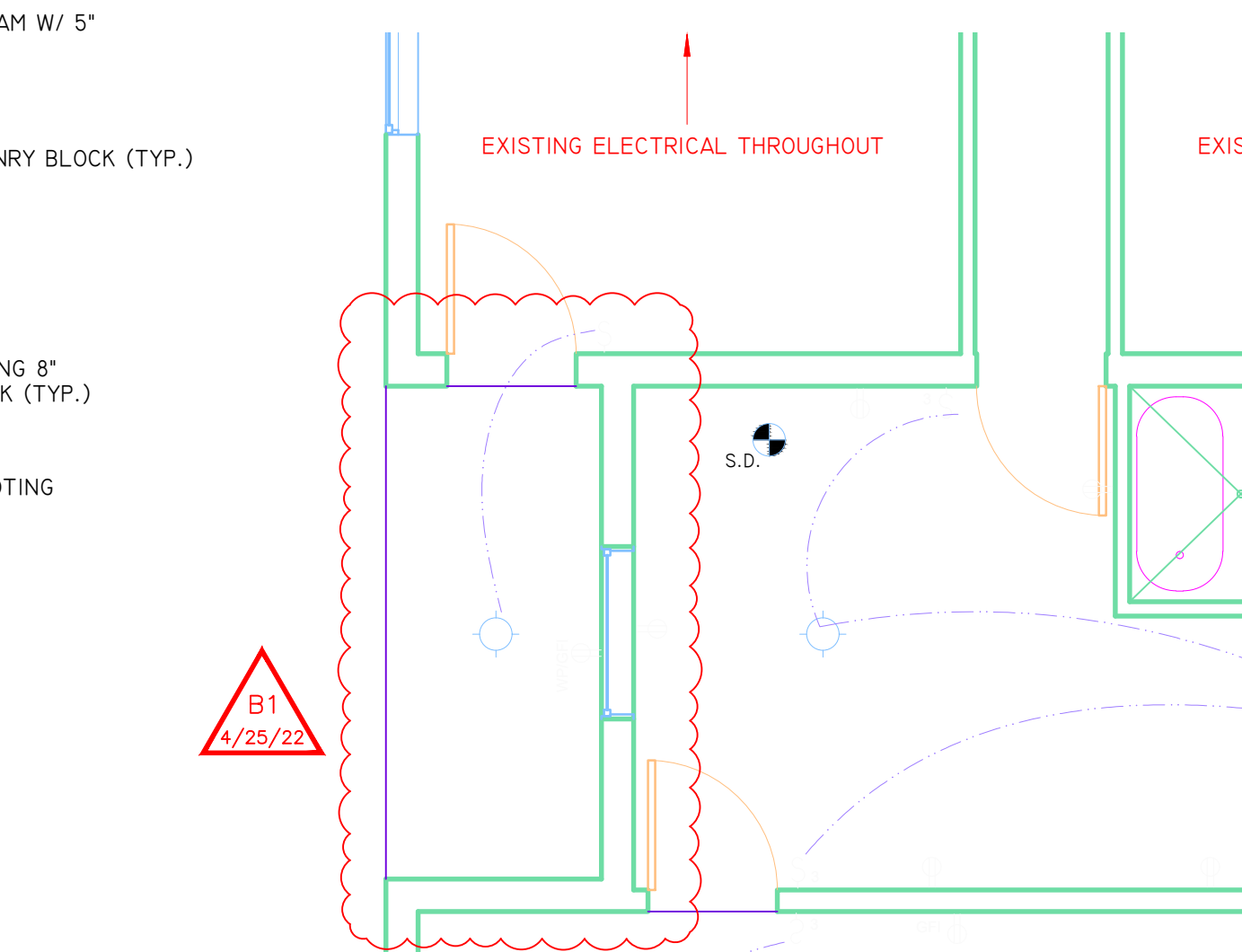
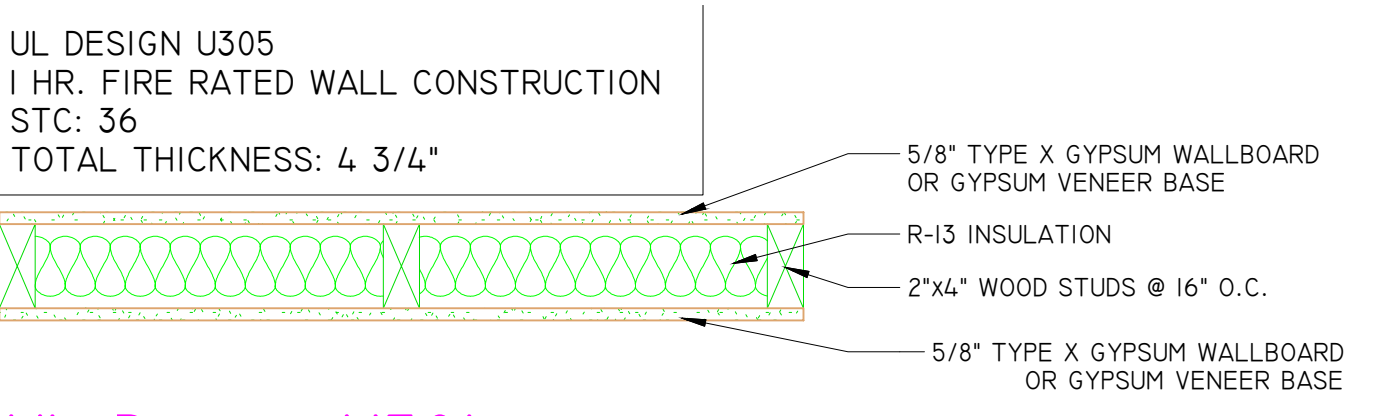
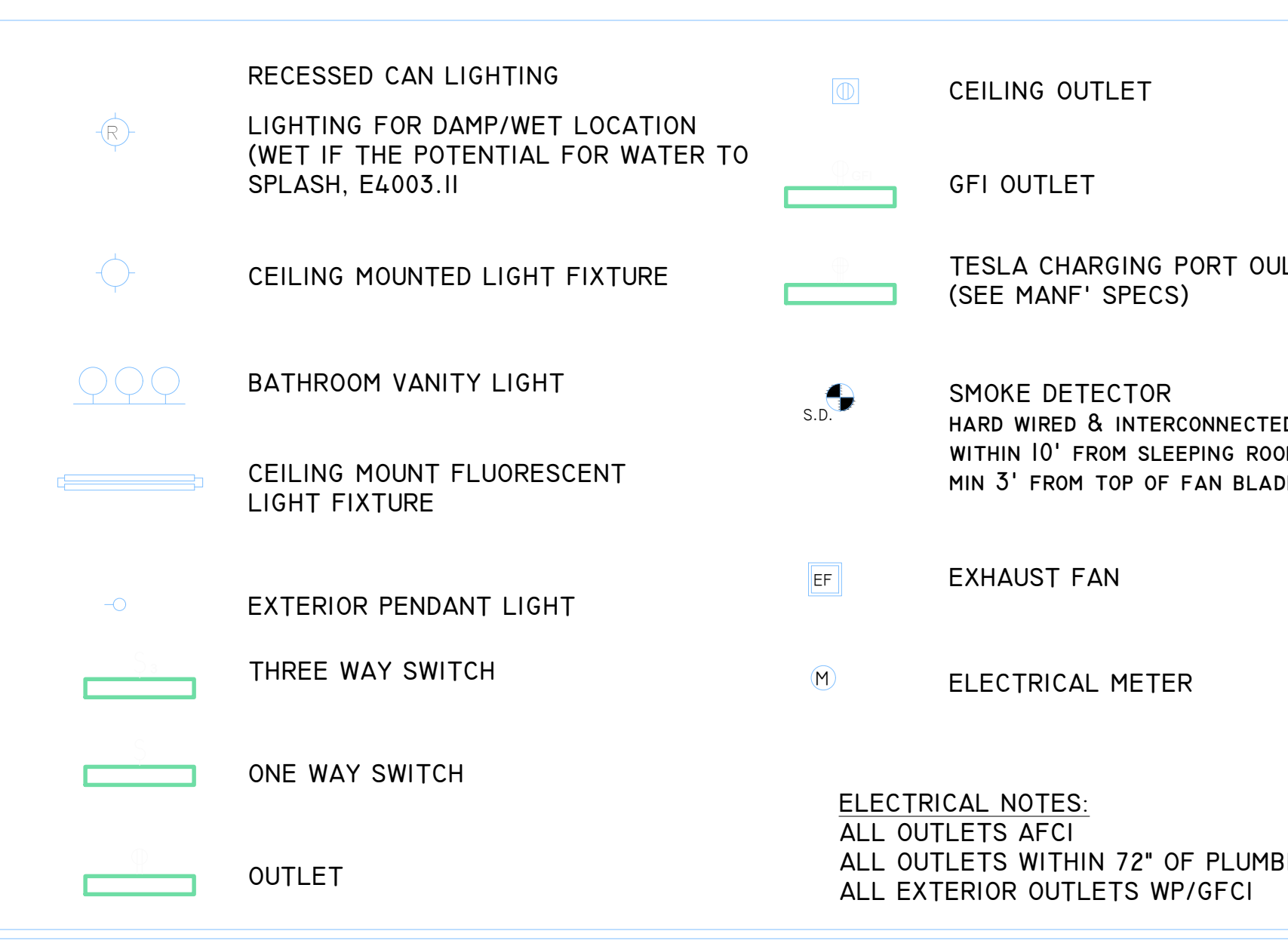
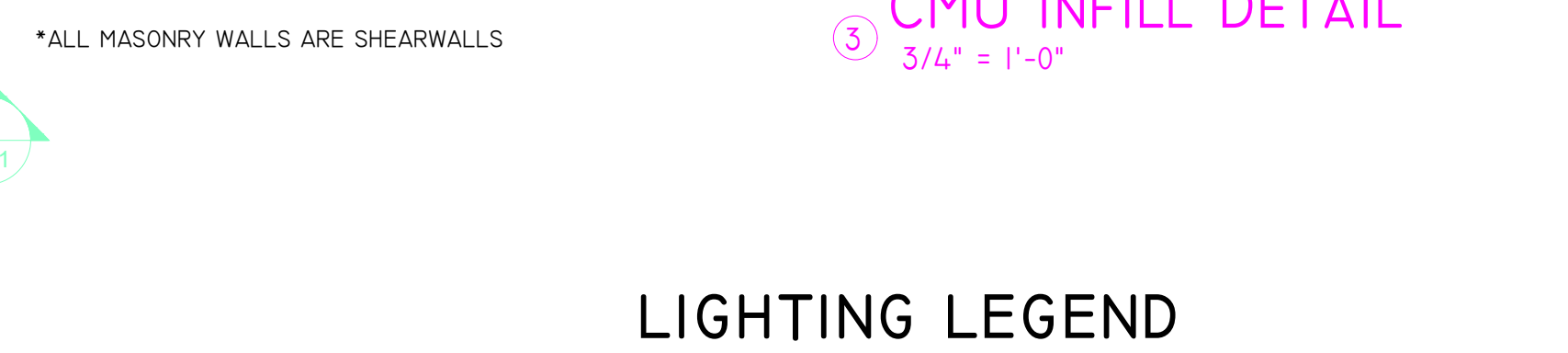
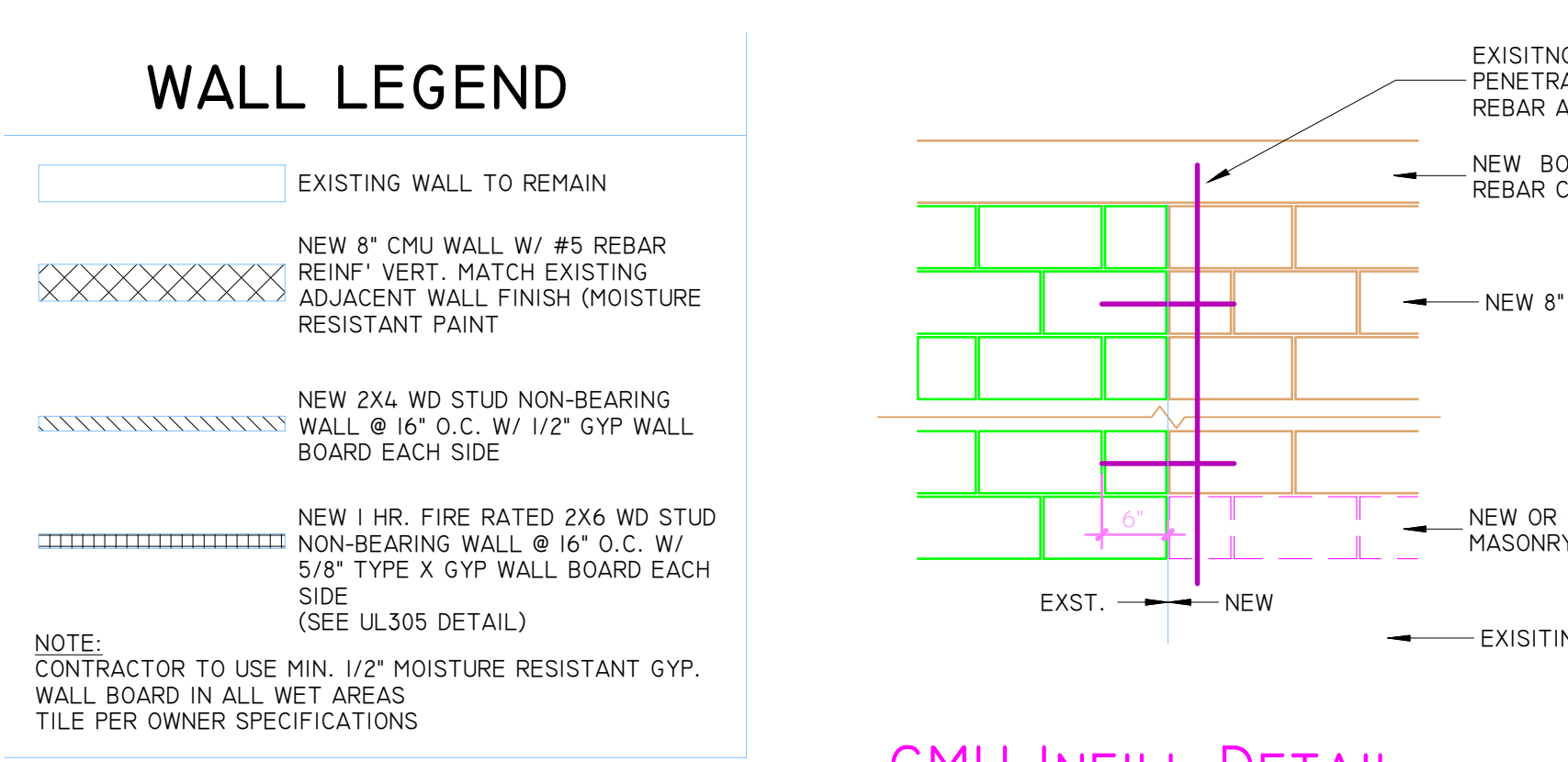
**NOTES**

- OTHER WINDOW & DOOR MANUFACTURERS TO BE EQUAL OR BETTER THAN STATED
- ALL EXTERIOR DOORS SHALL HAVE A THRESHOLD WITH A HEIGHT OF NO GREATER THAN 4" DIFFERENCE BETWEEN INT. & EXT. FINISH MATERIALS
- ALL INTERIOR DOOR WITH A CHANGE IN FLOOR MATERIALS SHALL HAVE A THRESHOLD.
- DO NOT FABRICATE ANY DOORS WITHOUT PROVIDING SHOP DRAWINGS BASED ON IN-FIELD DIMENSION VERIFICATION.
- CONTRACTOR TO VERIFY ALL DOOR ROUGH OPENINGS W/ DOOR MANUFACTURER

WINDOW SCHEDULE							
MARK	WIDTH	HEIGHT	LINTEL	MATERIAL	MANUFACTURER	TYPE	FL NOA
1	3' - 0"	3' - 0"	PRECAST CONC.	VINYL FRAME	PGT IND.	WINDOW-DOUBLE-HUNG	#16705.2
2	4' - 0"	3' - 0"	PRECAST CONC.	VINYL FRAME	PGT IND.	WINDOW-DOUBLE-HUNG	#16705.2
3	4' - 0"	4' - 0"	PRECAST CONC.	VINYL FRAME	PGT IND.	WINDOW-DOUBLE-HUNG	#16705.2

**NOTES**

- OTHER WINDOW & DOOR MANUFACTURERS TO BE EQUAL OR BETTER THAN STATED
- MIN. EGRESS REQUIREMENT: 24" HGT CLR X 20" WIDE CLR, MIN. 5.7 SF OPENING
- OPERABLE WINDOWS 72" ABOVE GRADE MUST HAVE MIN. 24" WINDOW SILL HEIGHT & MIN. 6.7 SF OPENING



COMMISSION NO.	21.2.1
DATE	12/23/2021
DRAWN BY	MMH
CHECKED BY	PG
REVISIONS	4/25/2022



GARDENA







3328

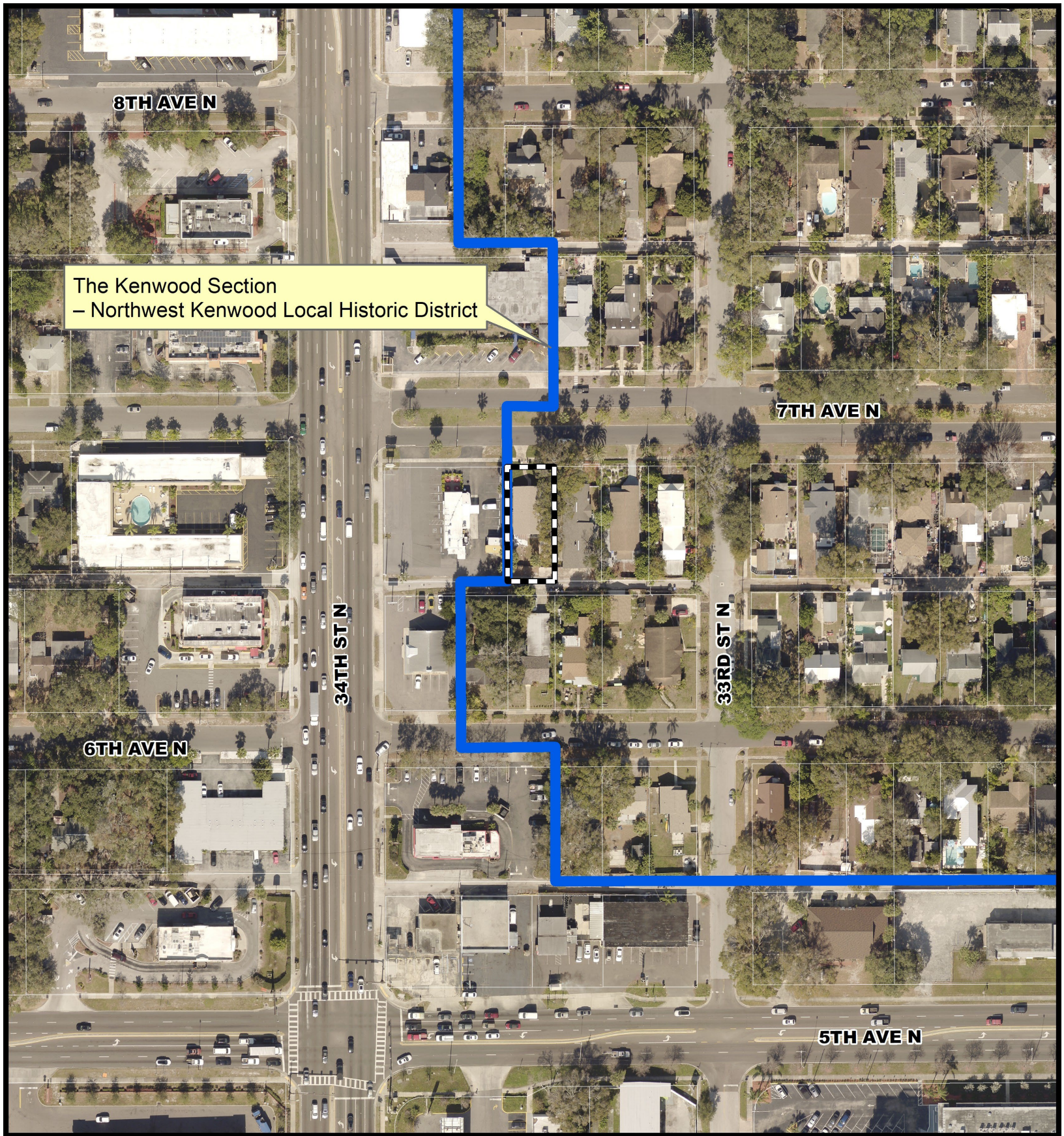


Donut House



# Appendix B:

## Maps of Subject Property



The Kenwood Section  
– Northwest Kenwood Local Historic District

**Community Planning and Preservation Commission**

**3328 7th Ave N**

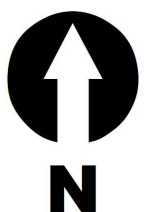
**AREA TO BE APPROVED,**

**SHOWN IN**



**CASE NUMBER**

**22-90200052**



**SCALE:**  
1" = 150'



8TH AVE N

The Kenwood Section  
– Northwest Kenwood Local Historic District

7TH AVE N

34TH ST N

33RD ST N

6TH AVE N

5TH AVE N

**Community Planning and Preservation Commission**

**3328 7th Ave N**

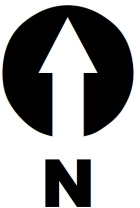
**AREA TO BE APPROVED,**

**SHOWN IN**



**CASE NUMBER**

**22-90200052**



SCALE:  
1" = 150'